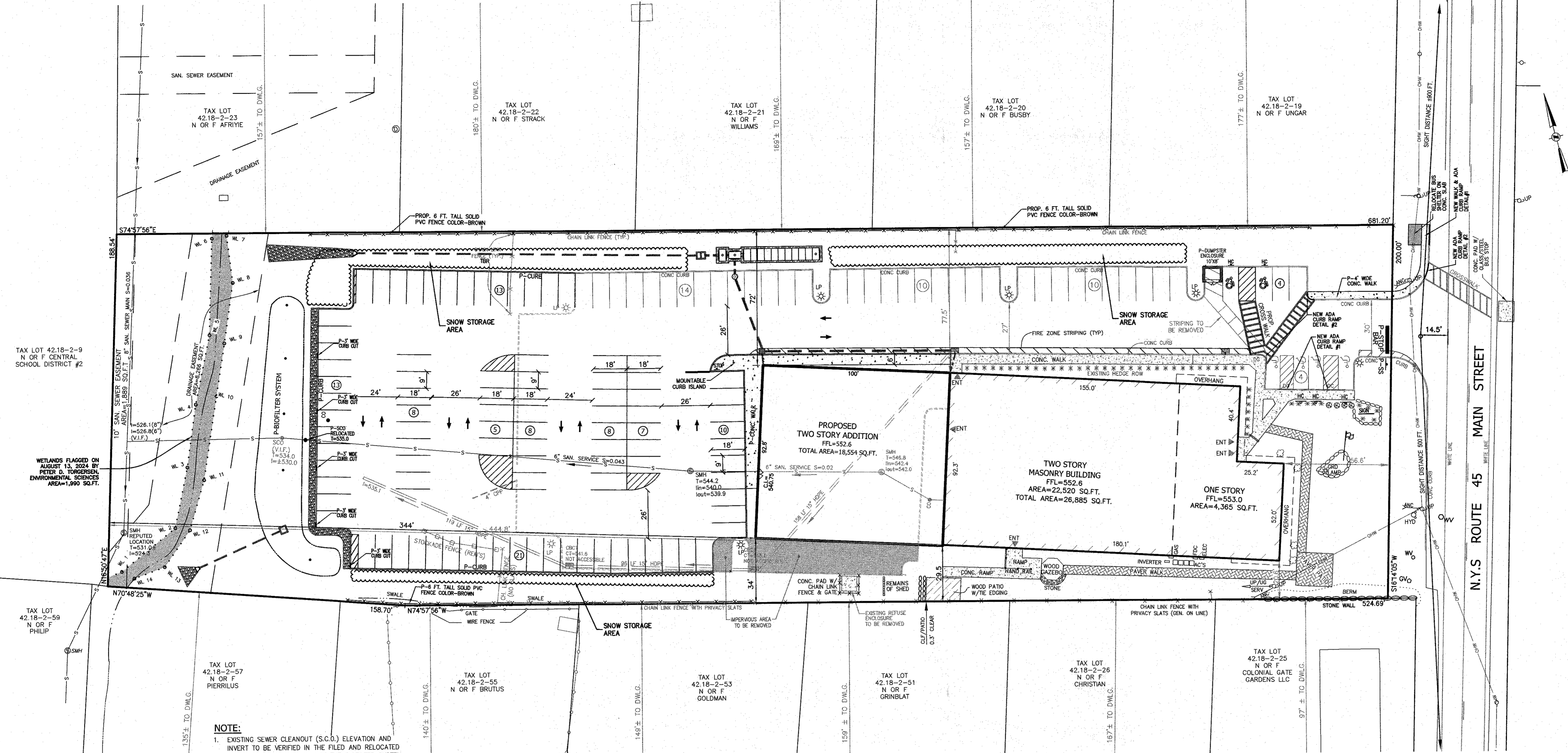


- NOTES:**
- THE TAX MAP DESIGNATION FOR THE PARCEL THAT IS THE SUBJECT OF THIS SITE PLAN IS SECTION 42.18, BLOCK 2, AND LOT 26, AS SHOWN ON THE VILLAGE OF NEW HEMPSTEAD TAX MAP.
 - AREA OF TRACT: 135,511 SQ.FT.
 - ZONE: NCD
 - PROPOSED USE: PROFESSIONAL OFFICE
 - RECORD OWNER: ILLINOIS PROPERTIES 26 LLC
51 FOREST ROAD, UNIT 316-24
MONROE, NY 10950
 - APPLICANT: ILLINOIS PROPERTIES 26 LLC
51 FOREST ROAD, UNIT 316-24
MONROE, NY 10950
 - SCHOOL DISTRICT: EAST RAMAPO CENTRAL
 - FIRE DISTRICT: MOLESTON
 - WATER SUPPLY BY: VEOLIA WATER NEW YORK, INC.
 - DATUM: NAVD
 - BEFORE ANY WORK SHALL BE AUTHORIZED, A PRE-CONSTRUCTION MEETING (PCM) SHALL BE HELD ON-SITE WITH THE VILLAGE ENGINEER. AT SUCH TIME A FULL CONSTRUCTION SCHEDULE WILL BE REQUIRED AND STRICTLY ENFORCED. ANY CHANGES OR AMENDMENTS TO THE SCHEDULE MUST BE FILED WITH THE VILLAGE ENGINEER AS DIRECTED DURING THE PCM.
 - ALL UTILITIES UNDERGROUND, ELECTRIC SERVICE SHALL BE IN CONDUIT OF NOT LESS THAN TWO-INCH DIAMETER.
 - THERE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE, EXCEPT AS SHOWN ON THIS PLAN, SUBJECT TO THE FINDINGS OF A COMPLETE AND UP-TO-DATE TITLE SEARCH.
 - NO SIDINGS OTHER THAN THOSE SHOWN ON THESE DRAWINGS ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE PLANNING BOARD. TENANTS ARE TO BE ADVISED OF THIS.
 - ALL CONSTRUCTION SHALL ADHERE TO ALL APPLICABLE NEW YORK STATE BUILDING CODES, AND CURRENT VILLAGE OF NEW HEMPSTEAD SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
 - ALL DRAWINGS AND PLANS, REQUIRED BY SUBSECTION B(1) OF THIS SECTION SHALL BE SIGNED AND SEALED/STAMPED BY A NEW-YORK-STATE-LICENSED PROFESSIONAL ENGINEER, REGISTERED ARCHITECT OR LAND SURVEYOR, THE PROFESSION OF WHICH LICENSED SIGNATORY SHALL BE DETERMINED BY THE VILLAGE ENGINEER. ADDITIONALLY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN AS-BUILT LANDSCAPING DRAWING SHALL BE SUBMITTED WHICH IS CERTIFIED BY A LANDSCAPE ARCHITECT LICENSED TO PRACTICE IN THE STATE OF NEW YORK. SAID CERTIFIED LANDSCAPING DRAWING SHALL INDICATE DEGREE OF COMPLETION OF SAID LANDSCAPING IMPROVEMENTS IN ACCORDANCE WITH THE APPROVED SITE PLAN. SAID AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE BUILDING INSPECTOR, VILLAGE PLANNER AND VILLAGE ENGINEER FOR APPROVAL.
 - NO LAND DISTURBANCE ACTIVITIES WILL BE PERMITTED UNTIL ALL EROSION CONTROL MEASURES REQUIRED AS PART OF THE EROSION CONTROL PLAN ARE INSTALLED TO THE SATISFACTION OF THE VILLAGE ENGINEER.
 - ALL TRAFFIC SIGNS SHALL CONFORM TO NEW YORK STATE DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - IF ANY EXISTING TREES THAT ARE DESIGNATED TO REMAIN ON THESE PLANS ARE DESTROYED DURING CONSTRUCTION, OR OTHERWISE, THEY SHALL BE REPLACED IN KIND WITH A MINIMUM OF 1.5 TIMES THE CALIPER OF THE TREE REMOVED. MINIMUM CALIPER OF EACH INDIVIDUAL REPLACEMENT TREE SHALL BE FOUR INCHES.
 - INSTALLATION OF ALL UTILITIES AND SITE WORK SHALL BE IN CONFORMANCE WITH OSHA REGULATIONS.
 - RETAINING WALLS OVER FOUR FEET IN HEIGHT SHALL BE DESIGNED AND INSPECTED BY A NEW-YORK-STATE-LICENSED PROFESSIONAL ENGINEER DURING INSTALLATION AND THE ADEQUACY OF THE RETAINING WALL SHALL BE CERTIFIED IN WRITING PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. WALLS HIGHER THAN FOUR FEET WILL ALSO REQUIRE A BARRIER FENCE ALONG THE TOP OF THE ENTIRE WALL.
 - IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR(S) TO PROTECT A PROPERTY SITE, AND ITS PERIMETER, UNDER/DURING CONSTRUCTION IN ACCORDANCE WITH THE LOCAL OSHA REGULATIONS, AS WELL AS THE CONTROLLING NEW YORK STATE AND LOCAL LAWS/REGULATIONS/CODES, AS DETERMINED BY THE VILLAGE'S ENGINEER, BUILDING INSPECTOR AND/OR THE GOVERNING VILLAGE BOARDS, IN ORDER TO MAINTAIN THE HEALTH AND SAFETY OF WORKERS AND THE GENERAL PUBLIC, AS WELL AS PREVENTING UNAUTHORIZED ACCESS, THE SAME NOT LIMITED TO REQUIRING A MINIMUM SIX-FOOT-HIGH TEMPORARY FENCE WITH A LOCKED GATE.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY FENCING TO PROTECT ANY AREA WITH AN EXCAVATION EXCEEDING FOUR FEET IN DEPTH IF LEFT UNATTENDED OVERNIGHT.
 - IN THE EVENT OF UNPLANNED/UNSCHEDULED CONSTRUCTION INACTIVITY FOR A DURATION GREATER THAN 30 CONSECUTIVE CALENDAR DAYS WITHOUT WRITTEN APPROVAL FROM THE VILLAGE ENGINEER, CODE ENFORCEMENT OFFICER OR BUILDING INSPECTOR, THE BOND ESTABLISHED FOR THE PROJECT UPON SITE PLAN APPROVAL MAY BE FORFEITED TO THE VILLAGE FOR SITE RESTORATION ENHANCEMENT ACTIVITIES AND A STOP-WORK ORDER WILL BE ISSUED FOR THE PROJECT UNTIL SUCH TIME THAT THE REAUTHORIZES WORK UNDER THE PREVIOUS APPROVAL AND A NEW BOND IS PROVIDED.
 - THE ZONING BOARD OF APPEALS OF THE VILLAGE OF NEW HEMPSTEAD, ON AS CASE NUMBER _____ IN THE APPLICATION OF _____ GRANTED A VARIANCE(S) FOR _____
 - THE APPLICATIONS TO THE PLANNING BOARD, ZONING BOARD OF APPEALS AND BOARD OF TRUSTEES, OF THE VILLAGE OF NEW HEMPSTEAD, AS MAY BE APPLICABLE, SHALL BE REVIEWED IN COMPLIANCE WITH ARTICLE 12-B OF NEW YORK STATE GENERAL MUNICIPAL LAW.
 - THE UNDERSIGNED, OWNER AND/OR APPLICANT, AS A CONDITION OF APPROVAL OF THIS SITE PLAN, HEREBY AGREES TO COMPLETE THE WITHIN SITE DEVELOPMENT PLAN AS DRAWN AND ALL IMPROVEMENTS SHOWN THEREON. THE APPLICANT/OWNER IS AWARE THAT NO CHANGES IN THIS PLAN MAY BE MADE UNLESS APPROVED BY THE PLANNING BOARD.
 - IF THE LOWEST FLOOR TO BE SEWERED IS BELOW THE UPSTREAM SEWER MANHOLE RISE ELEVATION, AN EXTERIOR CHECK VALVE IS REQUIRED.
 - RESERVE PARKING SPACES SHALL BE CONSTRUCTED WITHIN SIX (6) MONTHS OF THE DATE OF WRITTEN NOTICE FROM THE PLANNING BOARD THAT SUCH SPACES HAVE BEEN DETERMINED TO BE NECESSARY.



NOTE:
1. EXISTING SEWER CLEANOUT (S.C.O.) ELEVATION AND INVERT TO BE VERIFIED IN THE FILED AND RELOCATED BEFORE THE CONSTRUCTION OF THE BIO-FILTER SYSTEM.

BULK REQUIREMENTS:

ZONE NCD	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 ACRES	128,840 SF/2,957 ACS. (NET)	128,840 SF/2,957 ACS. (NET)
MINIMUM LOT FRONTAGE	150 FT.	200 FT.	200 FT.
MINIMUM LOT WIDTH	150 FT.	200 FT.	200 FT.
MINIMUM FRONT YARD	75 FT.	56.6 FT.	56.6 FT.
MINIMUM SIDE YARD	50 FT.	20.6 FT.	29.5 FT. *
MINIMUM TOTAL SIDE YARD	100 FT.	98.1 FT.	92.6 FT. *
MINIMUM REAR YARD	50 FT.	44.8 FT.	34.4 FT.
MAXIMUM FLOOR AREA RATIO	0.30	0.24	0.36 *
MAXIMUM IMPERVIOUS SURFACE RATIO	0.75	0.51	0.63 *
MAXIMUM BUILDING STORIES	2 STORIES	2 STORIES	2 STORIES
MAXIMUM BUILDING HEIGHT	35 FT.	35 FT.	35 FT.

ZONE CHANGE GRANTED BY THE VILLAGE BOARD ON OCTOBER 31, 2023
 * DENOTES VARIANCE REQUIRED
 * VARIANCE REQUIRED BUILDING LARGER THAN 20,000 SQ.FT.
 PLANNING BOARD APPROVAL REQUIRED FOR WORK WITHIN 100 FT. WETLANDS BUFFER

LOT AREA CALCULATION:

GROSS LOT AREA	= 135,511 SQ.FT.
- 25% AREA OF SANITARY SEWER EASEMENT	= 472 SQ.FT.
- 75% AREA OF DRAINAGE EASEMENT	= 6,199 SQ.FT.
NET LOT AREA	= 128,840 SQ.FT.

LOT COVERAGE CALCULATION:

EXISTING	PROPOSED	TOTAL
BUILDING	15,597 SQ.FT.	15,597 SQ.FT.
GAZEBO	214 SQ.FT.	9,277 SQ.FT.
CONCRETE WALK	2,827 SQ.FT.	112 SQ.FT.
PAVER WALK	1,392 SQ.FT.	3,324 SQ.FT.
MACADAM AREA	45,462 SQ.FT.	1,392 SQ.FT.
TOTAL	65,493 SQ.FT.	49,684 SQ.FT.
		2,187 SQ.FT.
		81,573 SQ.FT.

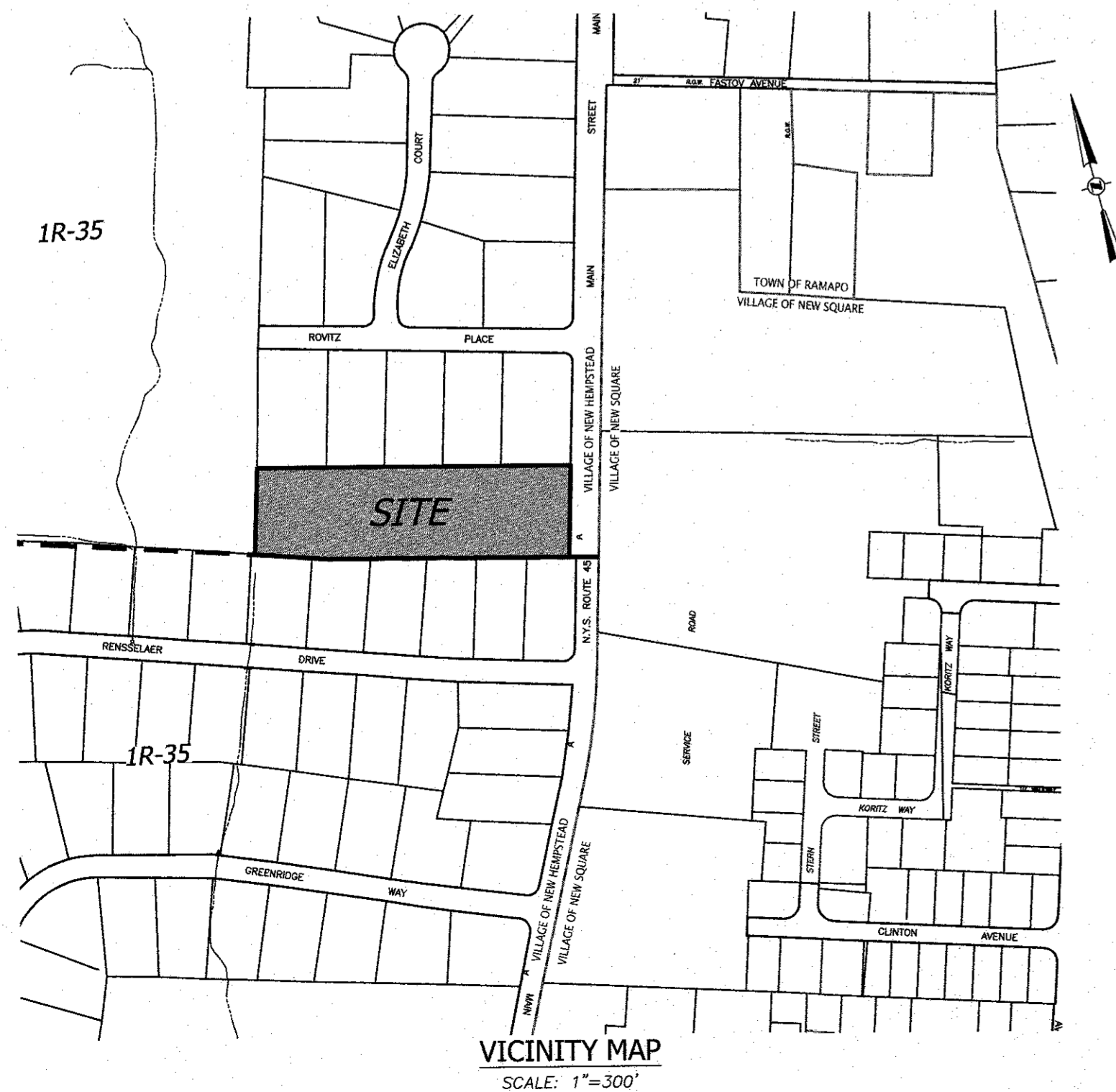
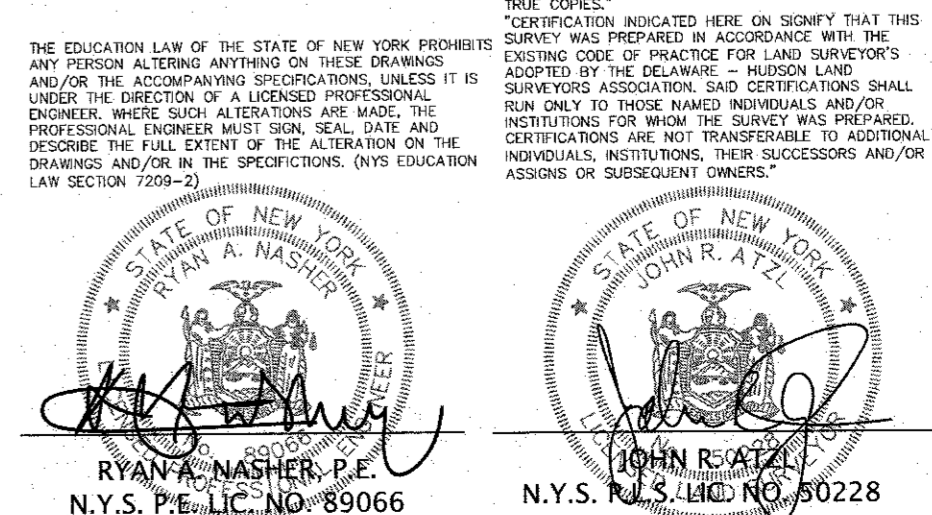
PARKING:
 1 SPACE/250 SQ.FT.
 EXISTING:
 26,885 SQ.FT./ 250 SQ.FT. = 107.5 OR 108 SPACES REQUIRED
 113 SPACES PROVIDED
 PROPOSED:
 26,885 SQ.FT.(EXISTING) + 18,554 SQ.FT.(ADDITION) = 45,439 SQ.FT.
 45,439 SQ.FT./ 250 SQ.FT. = 181.8 OR 182 SPACES REQUIRED
 135 SPACES PROVIDED
 * VARIANCE FOR 47 SPACES REQUESTED

SITE ADDRESS:
 775 ROUTE 45 (NORTH MAIN STREET)
 SPRING VALLEY, NY 10977

DRAWING LIST

DRAWING No.	TITLE	ORIGIN DATE	REVISION DATE
DRAWING 1	- SITE PLAN	10-31-2022	12-17-2024
DRAWING 2	- EXISTING CONDITION PLAN	10-31-2022	12-17-2024
DRAWING 3	- AERIAL NEIGHBORHOOD PLAN	10-31-2022	12-17-2024
DRAWING 4	- GRADING PLAN	11-15-2023	12-17-2024
DRAWING 5	- DRAINAGE DETAILS - 1	11-15-2023	12-17-2024
DRAWING 6	- DRAINAGE DETAILS - 2	04-12-2024	12-17-2024
DRAWING 7	- EROSION & SEDIMENT CONTROL PLAN	11-15-2023	12-17-2024
DRAWING 8	- LIGHTING PLAN	11-15-2023	12-17-2024
DRAWING 9	- FIRE TRUCK RADIUS PLAN	11-15-2023	12-17-2024
DRAWING 10	- TREE REMOVAL PLAN	06-24-2024	12-17-2024
DRAWING L-701	- PLANTING PLAN		09-11-2024

- LEGEND**
- 36.0 --- EXISTING 2' CONTOUR
 - 42.0 --- EXISTING 10' CONTOUR
 - --- EXISTING WATER MAIN
 - --- EXISTING FIRE HYDRANT
 - --- EXISTING GAS LINE
 - --- EXISTING CATCH BASIN
 - --- EXISTING DRAINAGE MANHOLE
 - --- EXISTING STORAGE DRAIN LINE
 - --- EXISTING SEWER MANHOLE
 - --- EXISTING SEWER LINE
 - --- EXISTING SPOT ELEVATION
 - --- EXISTING SIGN
 - --- EXISTING LIGHT POLE
 - --- EXISTING UTILITY POLE
 - --- EXISTING WATER VALVE
 - --- EXISTING GAS VALVE
 - --- EXISTING CHAIN LINK FENCE
 - --- EXISTING STONEWALL



REVISION	DATE	DESCRIPTION
B	12-17-24	PER VILLAGE ENGINEER
7	9-23-24	RESURVEY & PER PB MTG 8-6-24
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYS DOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGs.
1	2-6-23	REVISE ADDITION & PARKING

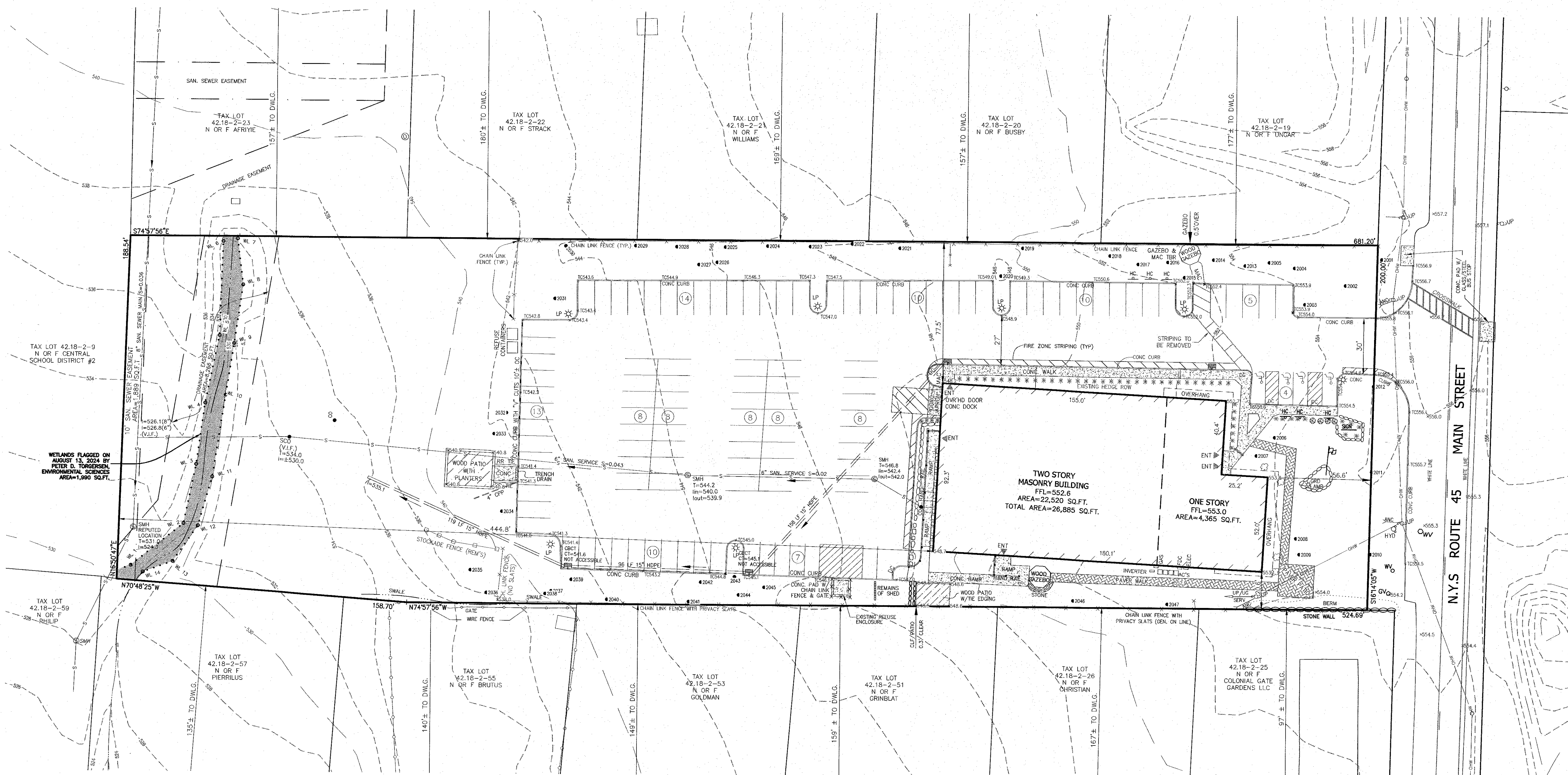
ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

PROJECT: **HAMASPIK CHOICE**
F/K/A ILLINOIS PROPERTIES 26 LLC

VILLAGE OF NEW HEMPSTEAD
ROCKLAND COUNTY, NEW YORK

TITLE: **SITE PLAN**

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO:	DRAWING NO:
5030	1



TREE LIST

NO.	SIZE	TYPE	CONDITION
2001	15"	LINDEN	GOOD
2002	15"	PINE	GOOD
2003	14"	LINDEN	GOOD
2004	10"	PINE	GOOD
2005	9"	PINE	GOOD
2006	9"	BERRY	GOOD
2007	11"	BERRY	GOOD
2008	8"	BERRY	GOOD
2009	8"	BERRY	GOOD
2010	13"	LINDEN	GOOD
2011	17"	LINDEN	GOOD
2012	15"	LINDEN	GOOD
2013	11"	PINE	GOOD
2014	10"	PINE	GOOD
2015	15"	OAK	GOOD
2016	8"	PINE	GOOD
2017	14"	PINE	GOOD
2018	10"	PINE	POOR
2019	23"	OAK	GOOD
2020	13"	OAK	GOOD
2021	24"	PINE	POOR
2022	14"	ELM	POOR
2023	26"	PINE	GOOD
2024	16"	PINE	POOR
2025	14"	ELM	POOR
2026	8"	PINE	POOR
2027	10"	PINE	POOR
2028	14"	PINE	POOR
2029	18"	PINE	POOR
2030	10"	PINE	POOR
2031	10"	MAPLE	GOOD
2032	12"	TWIN MAPLE	GOOD
2033	12"	QUAD POPLAR	POOR
2034	10"	MAPLE	POOR
2035	12"	LOCUST	POOR
2036	14"	MAPLE	POOR
2037	48"	MAPLE	GOOD
2038	8"	MAPLE	POOR
2039	14"	ELM	POOR
2040	10"	HOCKEY	GOOD
2041	19"	MAPLE	GOOD
2042	13"	MAPLE	GOOD
2043	10"	MAPLE	GOOD
2044	35"	MAPLE	GOOD
2045	10"	PINE	GOOD
2046	14"	MAPLE	GOOD
2047	17"	MAPLE	GOOD

TREE LEGEND

- DENOTES EXISTING TREE TO REMAIN
- ✕ DENOTES EXISTING TREE TO BE REMOVED
- ⊙ DENOTES EXISTING TREE TO BE PROTECTED

BULK REQUIREMENTS:

ZONE	REQUIRED	EXISTING
MINIMUM LOT AREA	2 ACRES	126,998 SF / 2.915 ACRES
MINIMUM LOT FRONTAGE	150 FT.	200 FT.
MINIMUM LOT WIDTH	150 FT.	200 FT.
MINIMUM FRONT YARD	75 FT.	56.6 FT.
MINIMUM SIDE YARD	50 FT.	20.6 FT.
MINIMUM TOTAL SIDE YARD	100 FT.	98.1 FT.
MINIMUM REAR YARD	50 FT.	444.8 FT.
MAXIMUM FLOOR AREA RATIO	0.30	0.21
MAXIMUM IMPERVIOUS SURFACE RATIO	0.75	0.59
MAXIMUM BUILDING STORES	2 STORES	2 STORES
MAXIMUM BUILDING HEIGHT	35 FT.	35 FT.

SPECIAL PERMIT REQUIRED FROM THE VILLAGE BOARD
 VARIANCE REQUIRED BUILDING LARGER THAN 20,000 SQ.FT.
 PLANNING BOARD APPROVAL REQUIRED FOR WORK WITHIN 100 FT. WETLANDS BUFFER

LOT AREA CALCULATION:

GROSS LOT AREA	= 135,511 SQ.FT.
- 25% AREA OF SANITARY SEWER EASEMENT	= 472 SQ.FT.
- 75% AREA OF DRAINAGE EASEMENT	= 6,199 SQ.FT.
- 75% WETLAND AREA	= 1,842 SQ.FT.
NET LOT AREA	= 126,998 SQ.FT.

LOT COVERAGE CALCULATION:

EXISTING	REQUIRED
BUILDING	15,597 SQ.FT.
GAZEBO	214 SQ.FT.
CONCRETE WALK	2,185 SQ.FT.
PAVER WALK	2,035 SQ.FT.
MACADAM AREA	45,482 SQ.FT.
TOTAL	65,493 SQ.FT.

PARKING:
 1 SPACE / 250 SQ.FT.
 EXISTING: 26,885 SQ.FT. / 250 SQ.FT. = 107.5 OR 108 SPACES REQUIRED
 113 SPACES PROVIDED

LEGEND

- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING GAS LINE
- EXISTING CATCH BASIN
- EXISTING DRAINAGE MANHOLE
- EXISTING STORM DRAIN LINE
- EXISTING SEWER MANHOLE
- EXISTING SEWER LINE
- EXISTING SPOT ELEVATION
- EXISTING SIGN
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING CHAIN LINK FENCE
- EXISTING STONEWALL

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS WITHOUT THE SIGNATURE OF A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. THE PROFESSIONAL ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND/OR DATA PROVIDED TO HIM BY THE CLIENT. THE PROFESSIONAL ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND/OR DATA PROVIDED TO HIM BY THE CLIENT. THE PROFESSIONAL ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND/OR DATA PROVIDED TO HIM BY THE CLIENT.

STATE OF NEW YORK
 JOHN R. ATZL
 N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
 JOHN R. ATZL
 N.Y.S. P.L.S. LIC. NO. 80228

REVISION	DATE	DESCRIPTION
8	12-17-24	PER VILLAGE ENGINEER
7	9-23-24	RESURVEY & PER PB MTG 8-6-24
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYS DOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGs.
1	2-6-23	REVISE ADDITION & PARKING

AN&Z ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SURVEYORS-PLANNERS
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 Tel: (845) 634-4694
 Fax: (845) 634-5543
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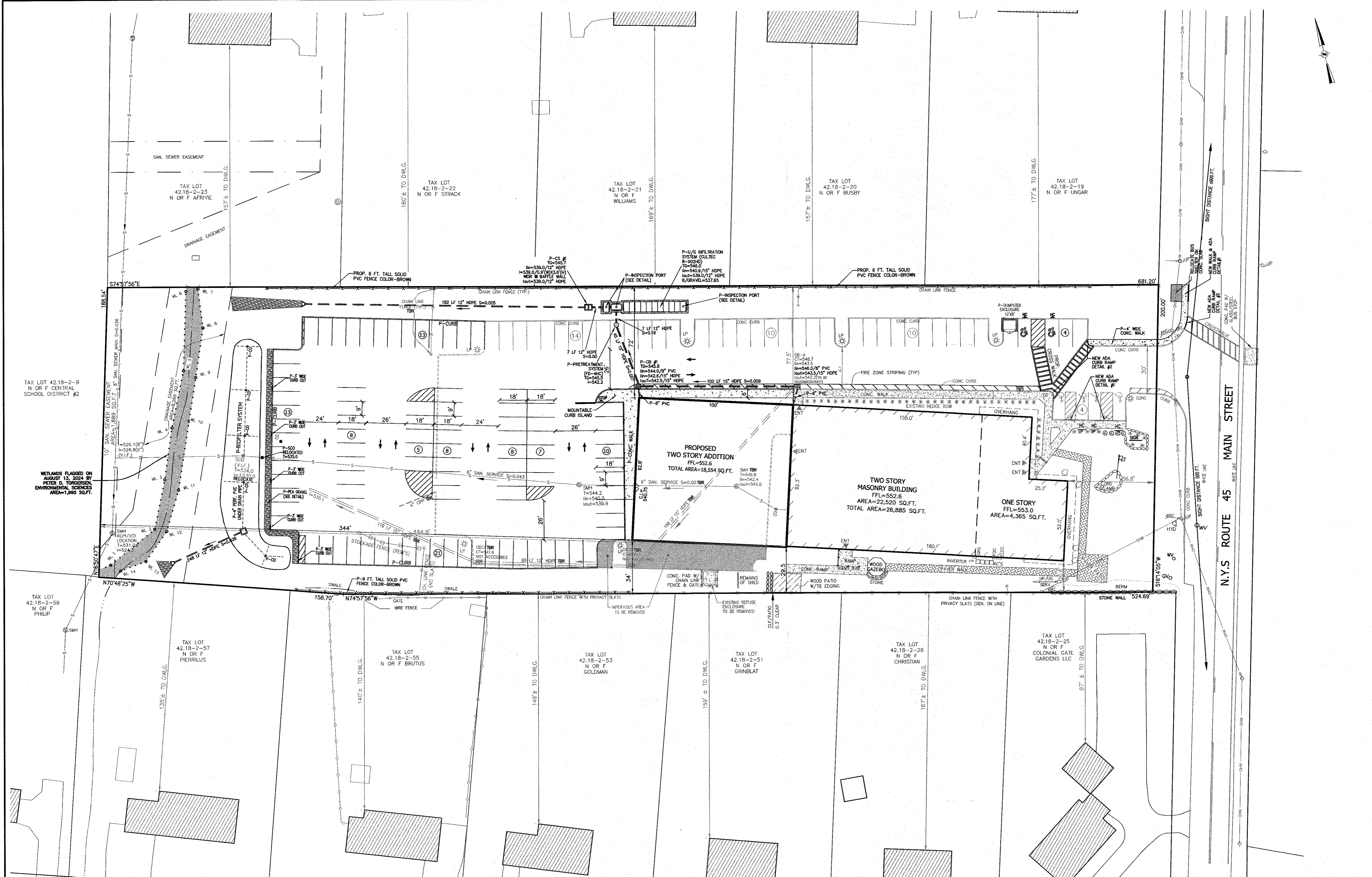
PROJECT: **HAMASPIK CHOICE
 F/K/A ILLINOIS PROPERTIES 26 LLC**

VILLAGE OF NEW HEMPSTEAD
 ROCKLAND COUNTY, NEW YORK

TITLE: **EXISTING CONDITION**

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1" IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 2

P:\DRAWINGS\5030\5030 SITE PLAN & TEST HOLE 12.17.20.DWG



8	12-17-24	PER VILLAGE ENGINEER
7	9-23-24	RESURVEY & PER PB MTG 8-6-24
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYS DOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGs.
1	2-6-23	REVISE ADDITION & PARKING
REVISION	DATE	DESCRIPTION

AN&Z
ATZL, NASHER & ZIGLER P.C.
 ENGINEERS - SURVEYORS - PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.anzny.com

PROJECT: **HAMASPIK CHOICE
 F/K/A ILLINOIS PROPERTIES 26 LLC**

**VILLAGE OF NEW HEMPSTEAD
 ROCKLAND COUNTY, NEW YORK**

TITLE: **AERIAL NEIGHBORHOOD PLAN**

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 3

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S LICENSED SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.
 ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP BEARING THE LAND SURVEYOR'S LICENSED SEAL SHALL BE CONSIDERED TO BE TRUE COPIES.
 THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALtering ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE THE PROFESSIONAL ENGINEER MUST SIGN, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NY STATE EDUCATION LAW SECTION 7209-2)

STATE OF NEW YORK
 RYAN A. NASHER, P.E.
 N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
 JOHN R. ATZL
 N.Y.S. P.L.S. LIC. NO. 60228

P:\DRAWINGS\5030\5030 SITE PLAN & TEST HOLE 12-17-24.DWG

LEGEND

- 30 --- EXISTING 3" CONTOUR
- 10 --- EXISTING 10" CONTOUR
- W --- EXISTING WATER MAIN
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- SMH --- EXISTING SEWER MANHOLE
- S --- EXISTING SEWER LINE
- + 36.0 --- EXISTING SPOT ELEVATION
- LP --- EXISTING LIGHT POLE
- LU --- EXISTING UTILITY POLE
- V --- EXISTING VALVE
- G --- EXISTING GAS VALVE
- --- EXISTING STONEWALL
- 30 --- PROPOSED 3" CONTOUR
- 10 --- PROPOSED 10" CONTOUR
- W --- PROPOSED WATER SERVICE
- W --- PROPOSED WATER VALVE
- G --- PROPOSED GAS SERVICE
- G --- PROPOSED GAS VALVE
- CB --- PROPOSED CATCH BASIN
- SMH --- PROPOSED STORM DRAIN LINE
- S --- PROPOSED SEWER CLEANOUT
- S --- PROPOSED SEWER HOUSE CONNECTION
- + 36.0 --- PROPOSED SPOT ELEVATION
- LP --- PROPOSED WATER SERVICE
- LU --- PROPOSED GAS SERVICE
- V --- PROPOSED UNDERGROUND ELECTRIC LINE
- G --- PROPOSED ROOF DRAIN
- --- PROPOSED WATERSHED

TURNING SPACE AND CLEAR SPACE NOTE

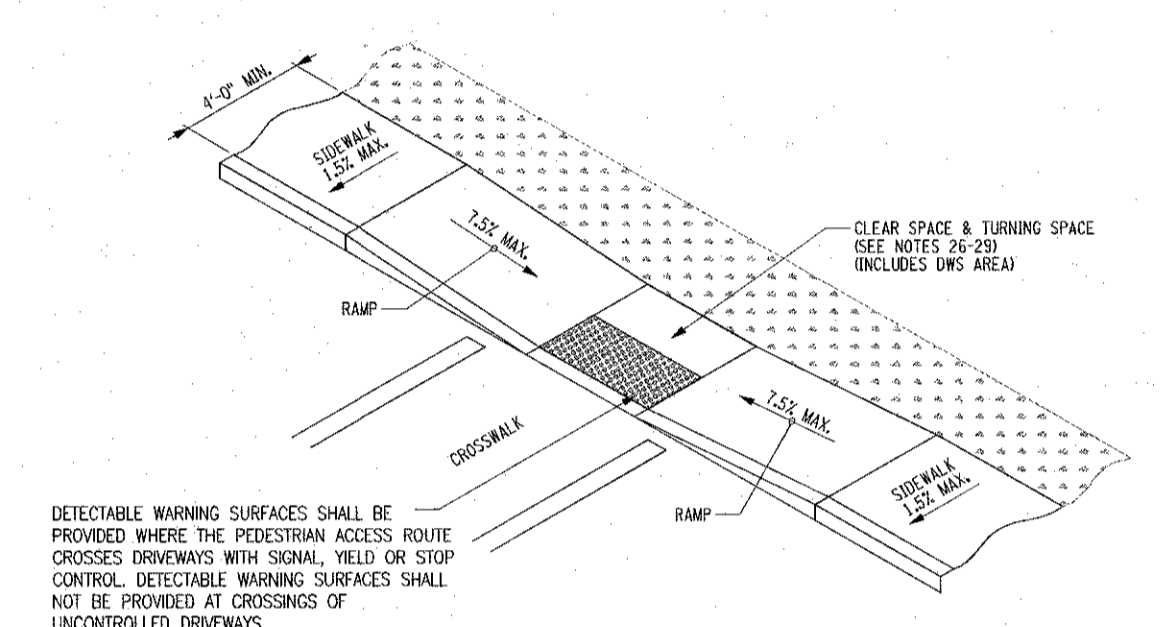
26. WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE SHALL BE PROVIDED AT THE BASE OR THE TOP OF CURB RAMP, AS APPLICABLE. TURNING SPACES SHALL BE PERMITTED TO OVERLAP CLEAR SPACES.

27. WHERE THERE ARE NO VERTICAL CONSTRAINTS AT THE BACK OF SIDEWALK, (E.G., VERTICAL CURBS, BUILDINGS, FENCES) THE TURNING SPACE DIMENSIONS SHALL BE 4'-0" X 4'-0" MINIMUM. WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK, THE TURNING SPACE SHALL BE 4'-0" X 5'-0" MINIMUM. THE 5'-0" DIMENSION SHALL BE IN THE DIRECTION OF THE RAMP RUN.

28. TURNING SPACES SHALL NOT BE DESIGNED WITH A SLOPE GREATER THAN 1.5% IN ANY DIRECTION, WHILE PROVIDING POSITIVE DRAINAGE. THE MAXIMUM SLOPE FOR WORK ACCEPTANCE IS 2.0%. THE FOLLOWING EXCEPTIONS ARE ALLOWED:

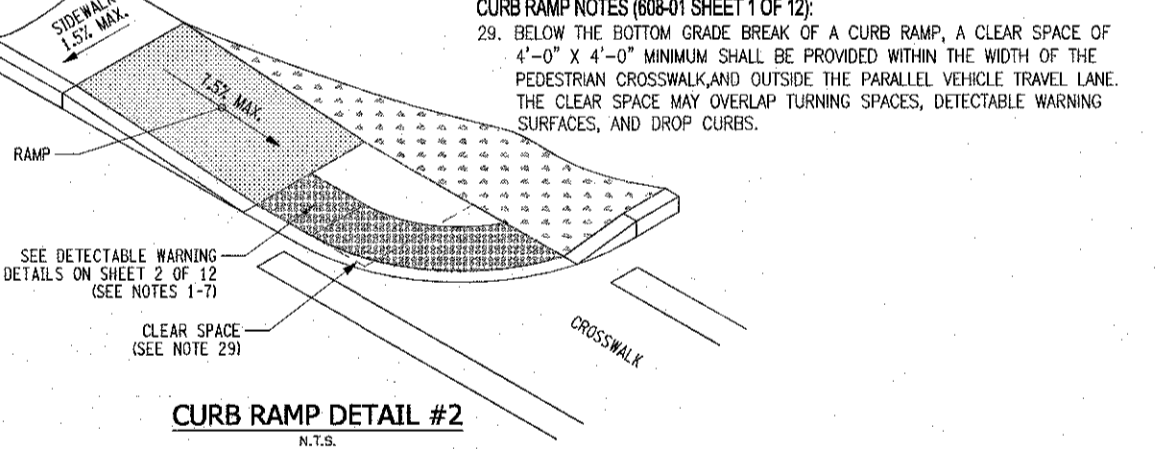
A. WHERE PEDESTRIAN STREET CROSSINGS ARE PROVIDED AT INTERSECTIONS WHERE THERE IS NO YIELD OR STOP SIGN, OR WHERE THERE IS A TRAFFIC SIGNAL THAT IS DESIGNED FOR THE GREEN PHASE, AND AT MIDBLOCK CROSSINGS, THE CROSS SLOPE OF THE TURNING SPACE SHALL BE PERMITTED TO EQUAL THE STREET OR HIGHWAY GRADE. WHEN A RAMP EXISTS BETWEEN THE TURNING SPACE AND THE CURB, THE CROSS SLOPE OF THE TURNING SPACE SHOULD BE LESS STEEP THAN THE ROADWAY GRADE AND AS FLAT AS PRACTICABLE WHENEVER POSSIBLE.

29. BELOW THE BOTTOM GRADE BREAK OF A CURB RAMP, A CLEAR SPACE OF 4'-0" X 4'-0" MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN CROSSWALK/AND OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. THE CLEAR SPACE MAY OVERLAP TURNING SPACES, DETECTABLE WARNING SURFACES, AND DROP CURBS.



CURB RAMP DETAIL #1
N.T.S.

DETECTABLE WARNING SURFACES SHALL BE PROVIDED WHERE THE PEDESTRIAN ACCESS ROUTE CROSSES CROSSINGS WITH SIGNAL, YIELD OR STOP CONTROL. DETECTABLE WARNING SURFACES SHALL NOT BE PROVIDED AT CROSSINGS OF UNCONTROLLED DRIVEWAYS.



CURB RAMP DETAIL #2
N.T.S.

DETECTABLE WARNING NOTES 800-01 SHEET 2 OF 12:

2. DETECTABLE WARNING SURFACES SHALL BE PROVIDED WHERE TEH PEDESTRIAN ACCESS ROUTE CROSSES DRIVEWAYS WITH SIGNAL, YIELD OR STOP CONTROL. DETECTABLE WARNING SURFACES SHALL NOT BE PROVIDED AT CROSSINGS OF UNCONTROLLED DRIVEWAYS.

REVISION	DATE	DESCRIPTION
8	12-17-24	PER VILLAGE ENGINEER
7	9-23-24	RESURVEY & PER PB MTD 8-8-24
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYS DOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGs.
1	2-6-23	REVISE ADDITION & PARKING

ATZL, NASHER & ZIGLER P.C.
ENGINEERS - SURVEYORS - PLANNERS

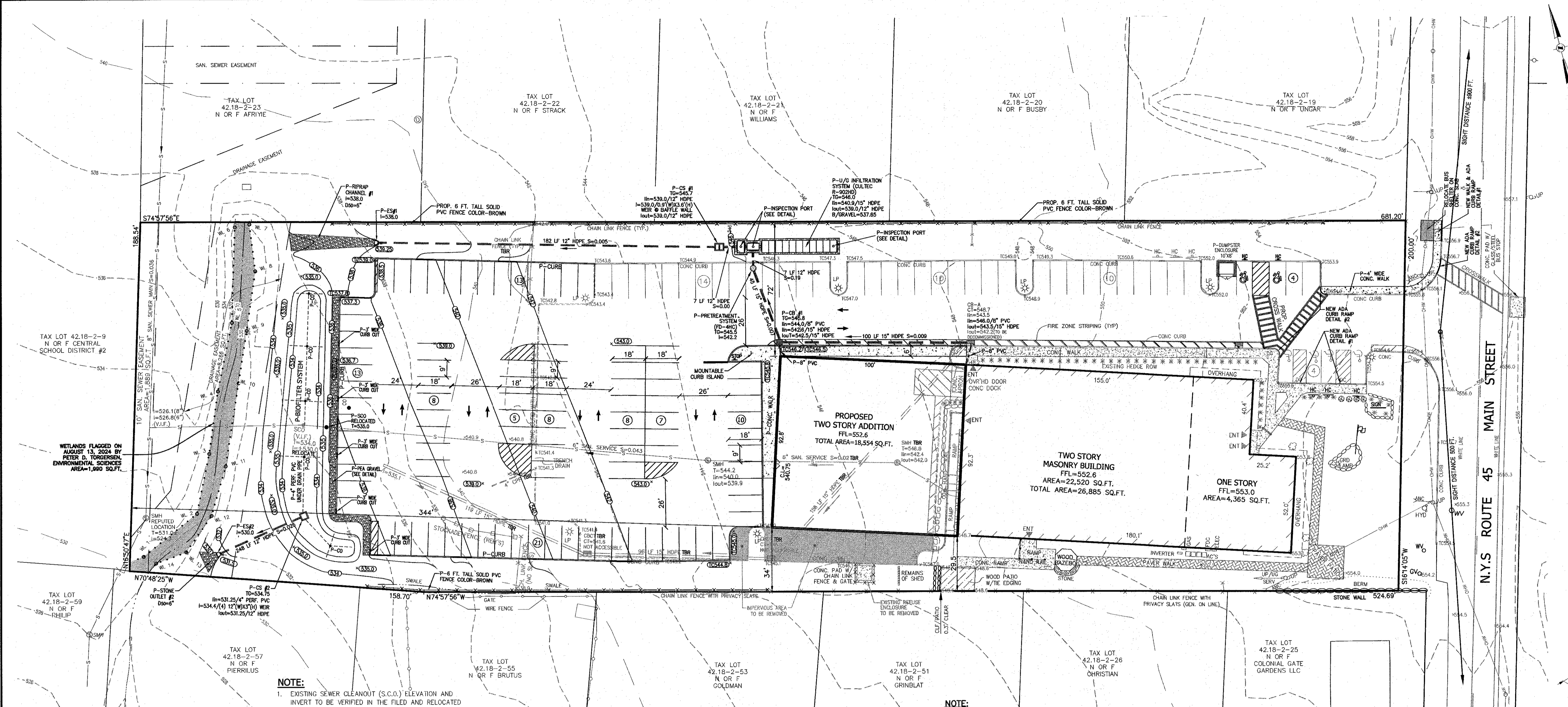
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
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Web: www.ANZNY.com

PROJECT: HAMASPIK CHOICE F/K/A ILLINOIS PROPERTIES 26 LLC

VILLAGE OF NEW HEMPSTEAD ROCKLAND COUNTY, NEW YORK

GRADING PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 4

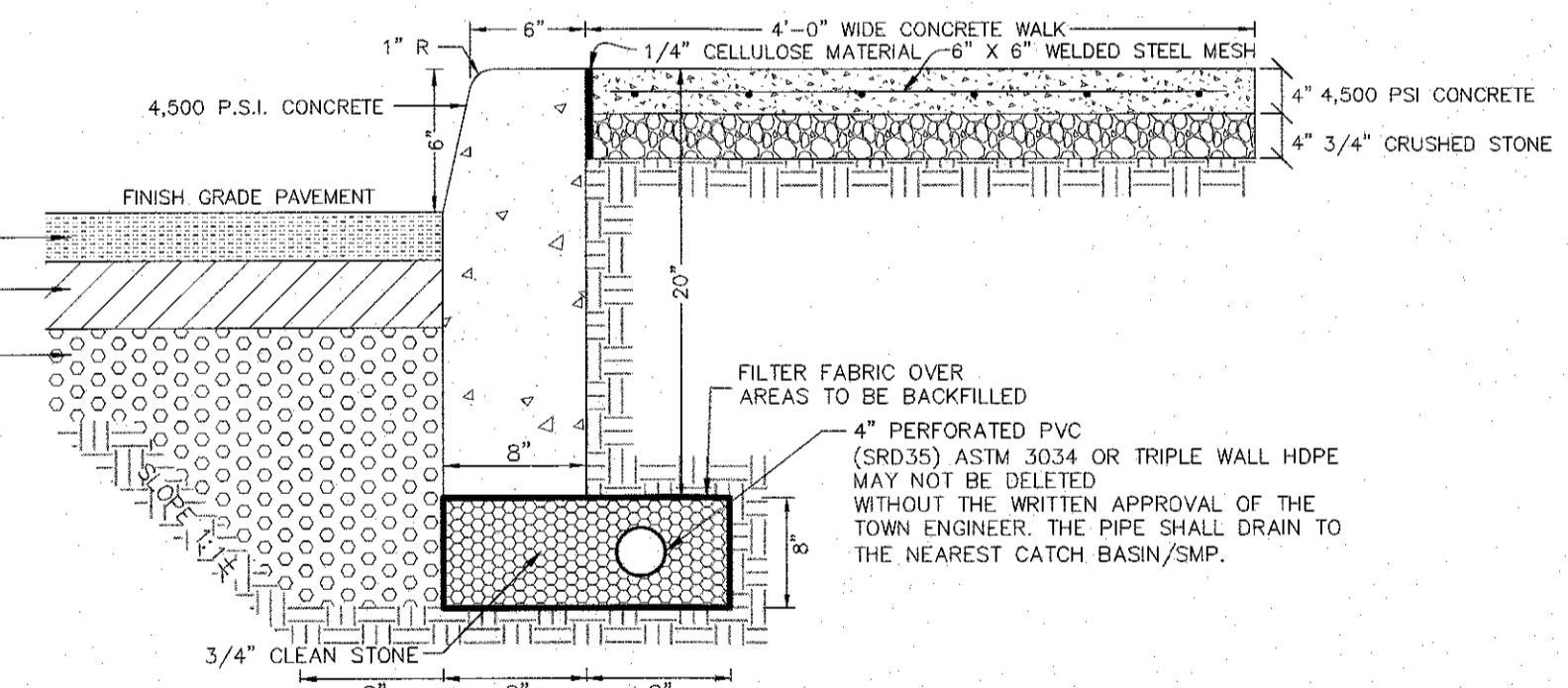


NOTE:

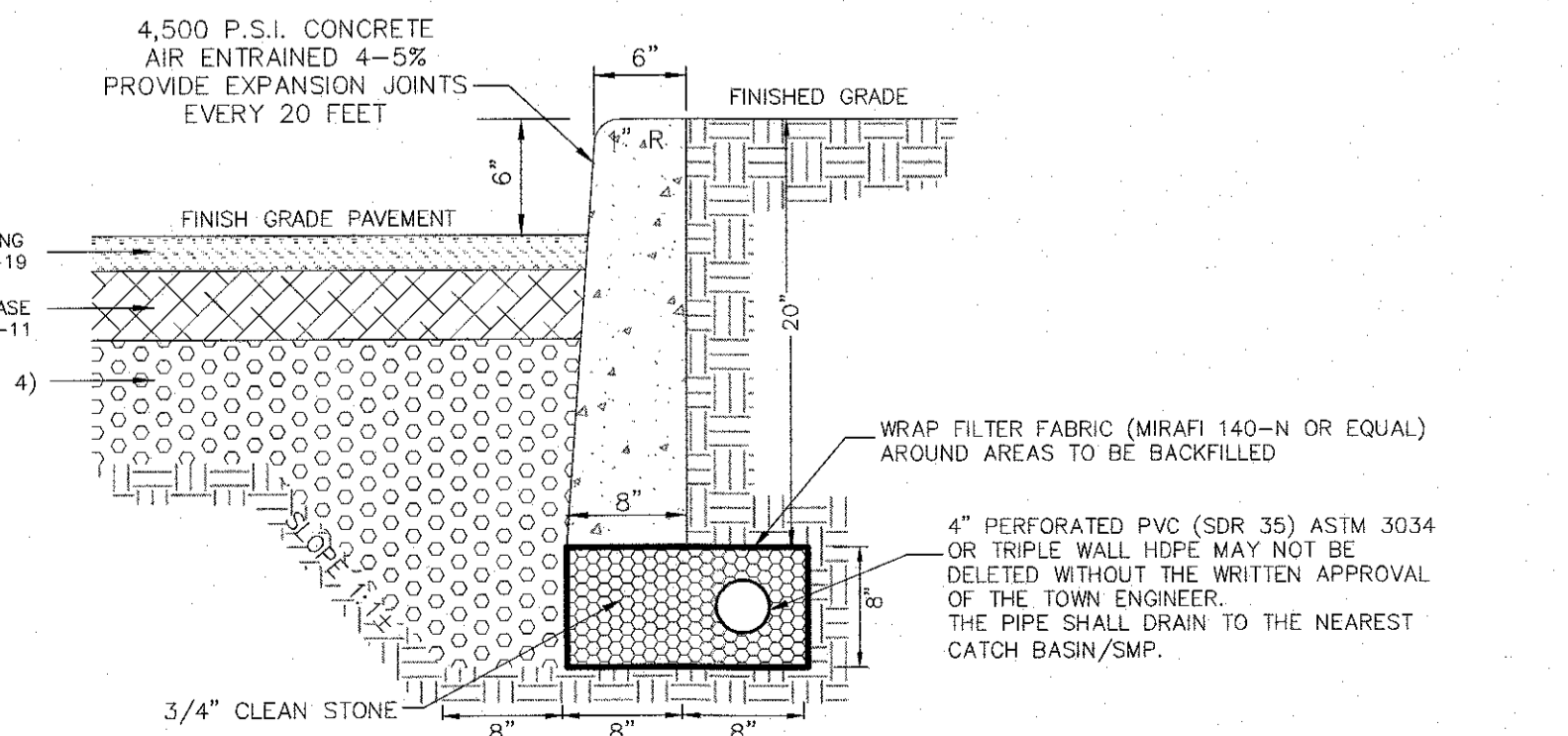
1. EXISTING SEWER CLEANOUT (S.C.O.) ELEVATION AND INVERT TO BE VERIFIED IN THE FIELD AND RELOCATED BEFORE THE CONSTRUCTION OF THE BIOFILTER SYSTEM.

NOTE:

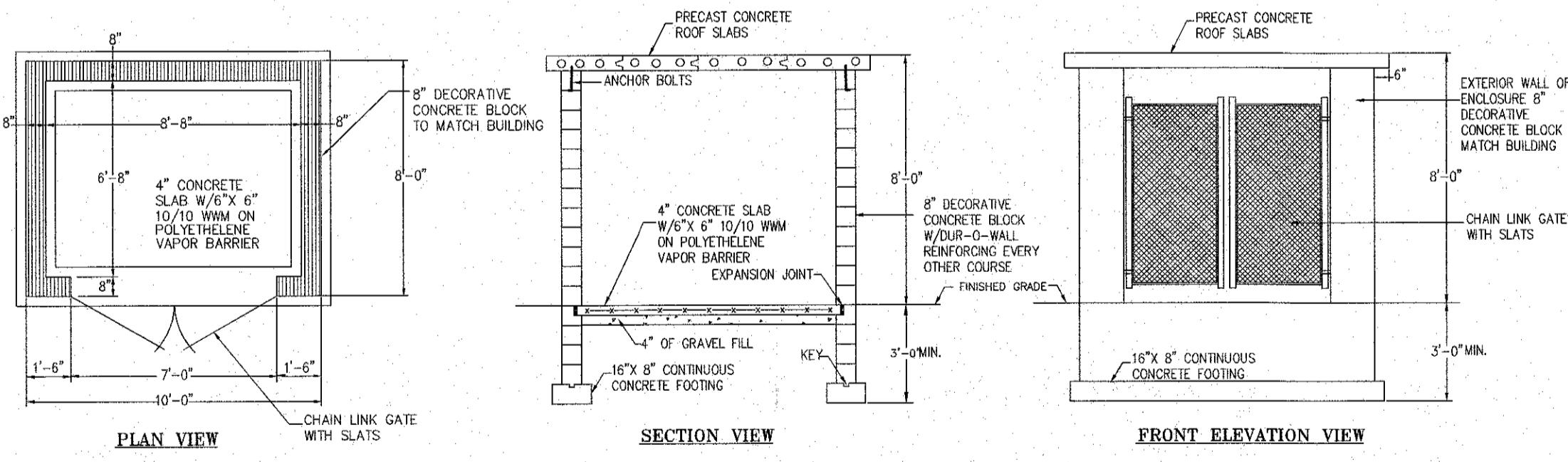
1. ALL SURFACE RUNOFF FROM THE ROOF (TWO STORY ADDITION AND TWO STORY MASONRY BUILDING) SHALL DRAIN TO CATCH BASIN A AND PROPOSED CATCH BASIN No. 1 (CB-A AND P-CB #1).



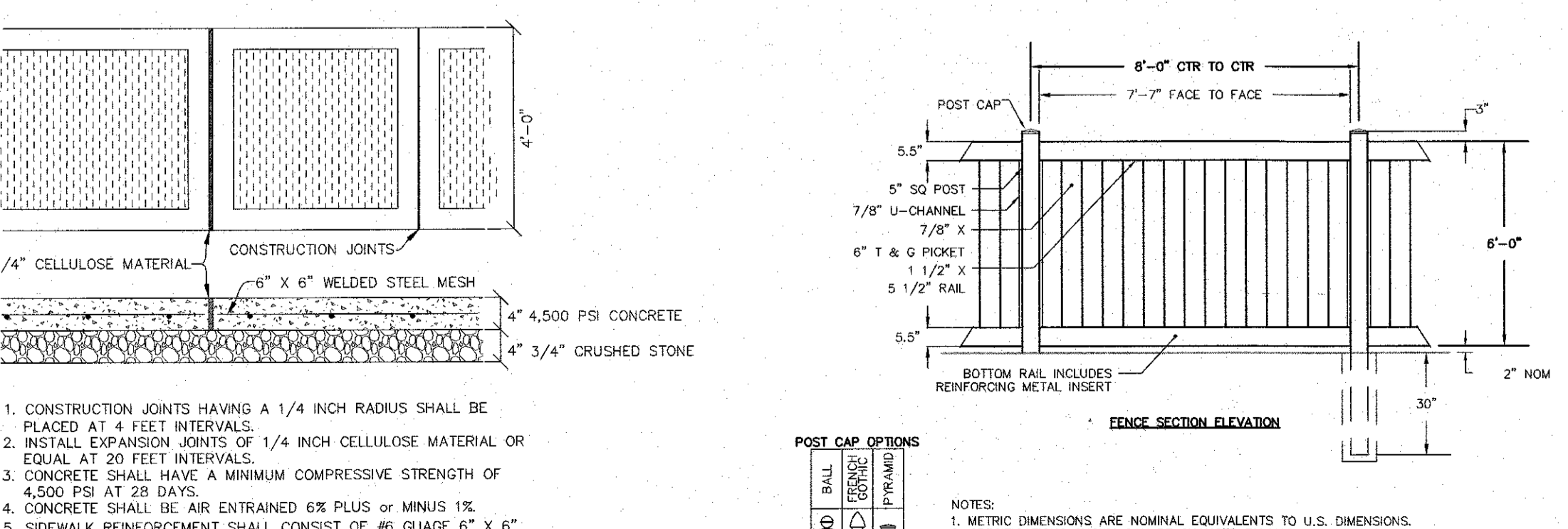
CONCRETE CURB & OFFSITE SIDEWALK DETAIL
N.T.S.



ASPHALTIC CONCRETE PAVEMENT & CONCRETE CURB DETAIL FOR PARKING AREAS
N.T.S.



REFUSE DUMPSTER ENCLOSURE DETAIL
N.T.S.



4 FEET WIDE CONCRETE WALK DETAIL
N.T.S.

6 FT. TALL PVC FENCE DETAIL
N.T.S.

TYPE V6 DETAIL
N.T.S.

TYPE M6 DETAIL
N.T.S.

- NOTES:**
- USE CURB AND CURB AND GUTTER MEETING THE MATERIAL AND CONSTRUCTION REQUIREMENTS OF SECTION 609 OF THE STANDARD SPECIFICATIONS.
 - CURB ANCHOR (NEW CONSTRUCTION). THIS DETAIL SHOWS PLACEMENT OF CURB ANCHORS. PUSH-IN TYPE ANCHORS MAY BE USED (SHOWN ON THE STANDARD SHEET FOR LONGITUDINAL TIES).
 - CURB TYPES M6A, V6A AND M4A REQUIRE CURB ANCHOR, CURB AND GUTTER TYPES V6G AND M4G REQUIRE ANCHORS WHEN PLACED ADJACENT TO CONCRETE PAVEMENT OR SHOULDER.
 - WHEN VERTICAL FACED CURB LESS THAN 6" WIDE IS USED WITH CURB BOXES OUT, CUB2, AND CUB3 AND CONCRETE SIDEWALK IS PLACED ADJACENT TO THIS CURB, SEE STANDARD SHEET MISCELLANEOUS CURB DETAILS FOR CURB BOX JOINTS.
 - USE WITH CURB BOXES, CML, CM2, AND CM3.

STATE OF NEW YORK
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
JOHN R. ATZL
N.Y.S. P.E. LIC. NO. 80228

P:\DRAWINGS\89030\89030 SITE PLAN & TEST HOLE 12-17-24.DWG

SPECIFICATIONS FOR BIOFILTER

MATERIAL SPECIFICATIONS:

THE ALLOWABLE MATERIALS TO BE USED IN BIOFILTER AREA ARE DETAILED IN TABLE 1.

PLANTING SOIL:

THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIOFILTER AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF NOXIOUS WEEDS.

THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:

- PH RANGE 5.2 - 7.0
- ORGANIC MATTER 1.5 - 4%
- MAGNESIUM 35 LB./AC
- PHOSPHORUS #205 75 LB./AC
- POTASSIUM #20 85 LB./AC
- SOLUBLE SALTS NOT TO EXCEED 500 PPM

ALL BIOFILTER AREAS SHALL HAVE A MINIMUM OF ONE TEST. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH, PHOSPHORUS, AND POTASSIUM AND ADDITIONAL TESTING OF ORGANIC MATTER AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL IF TOPSOIL IS IMPORTED, THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOPSOIL WAS EXCAVATED. SINCE DIFFERENT LABS CALIBRATE THEIR TESTING EQUIPMENT DIFFERENTLY, ALL TESTING RESULTS SHALL COME FROM THE SAME TESTING FACILITY. SHOULD THE PH FALL OUT OF THE ACCEPTABLE RANGE, IT MAY BE MODIFIED (HIGHER) WITH LIME OR (LOWER) WITH IRON SULFATE PLUS SULFUR.

COMPACTION:

IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF THE BIOFILTER AREA AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL IF BIOFILTER AREAS ARE EXCAVATED USING A LOADER. THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURTLE TIRE TIRES. USE OF EQUIPMENT WITH NARROW TRACKS OR NARROW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND STORAGE VOLUMES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE. COMPACTION CAN BE ALLEVIATED AT THE BASE OF THE BIOFILTER FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO RESTRUCTURE THE SOIL PROFILE THROUGHOUT THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT.

ROTOTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIOFILTER FACILITY BEFORE BACK FILLING THE REQUIRED SAND LAYER. PUMP ANY PONDING WATER BEFORE PREPARING (ROTOTILLING) BASE. WHEN BACK FILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE.

WHEN BACK FILLING THE BIOFILTER FACILITY, PLACE SOIL IN LIFTS 12" OR GREATER. DO NOT USE HEAVY EQUIPMENT WITHIN THE BIOFILTER BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SOILS AND SAND. GRADE BIOFILTER MATERIALS BY HAND OR WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH MARSH TRACKS.

PLANT INSTALLATION:

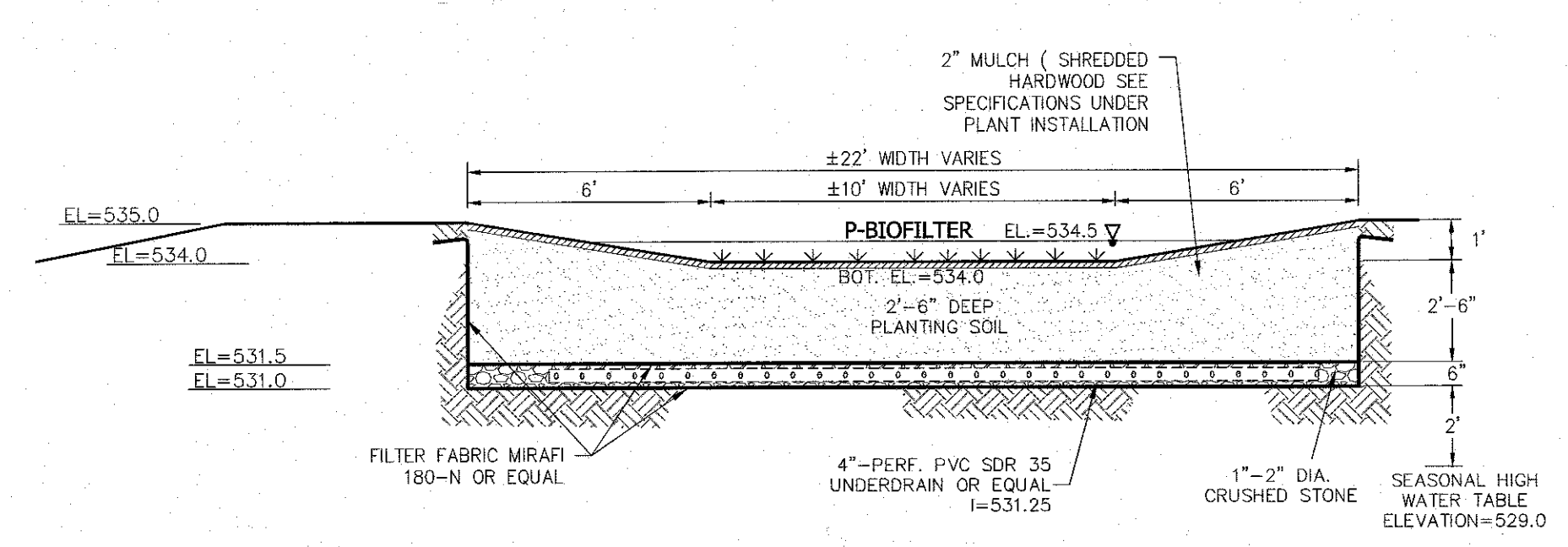
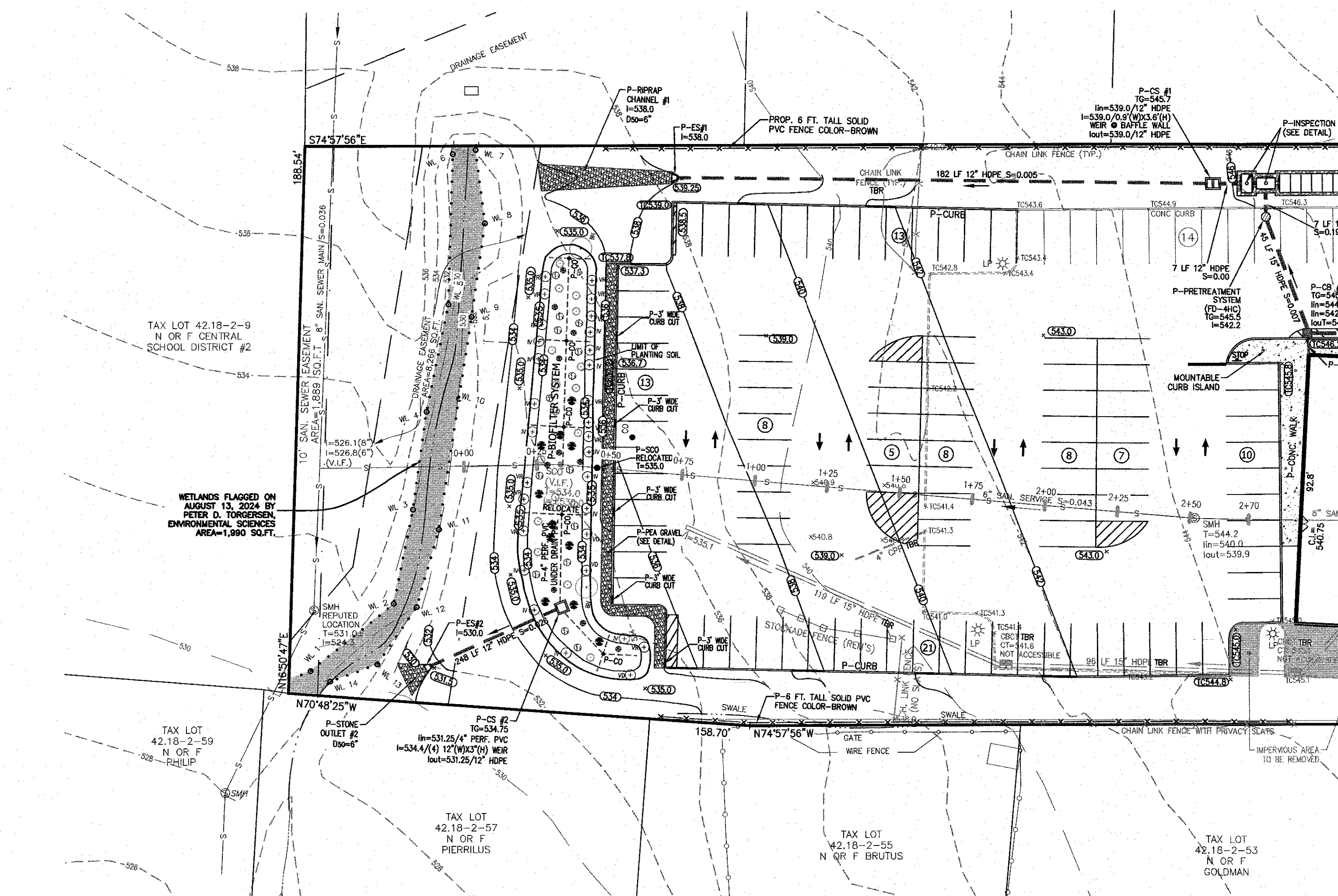
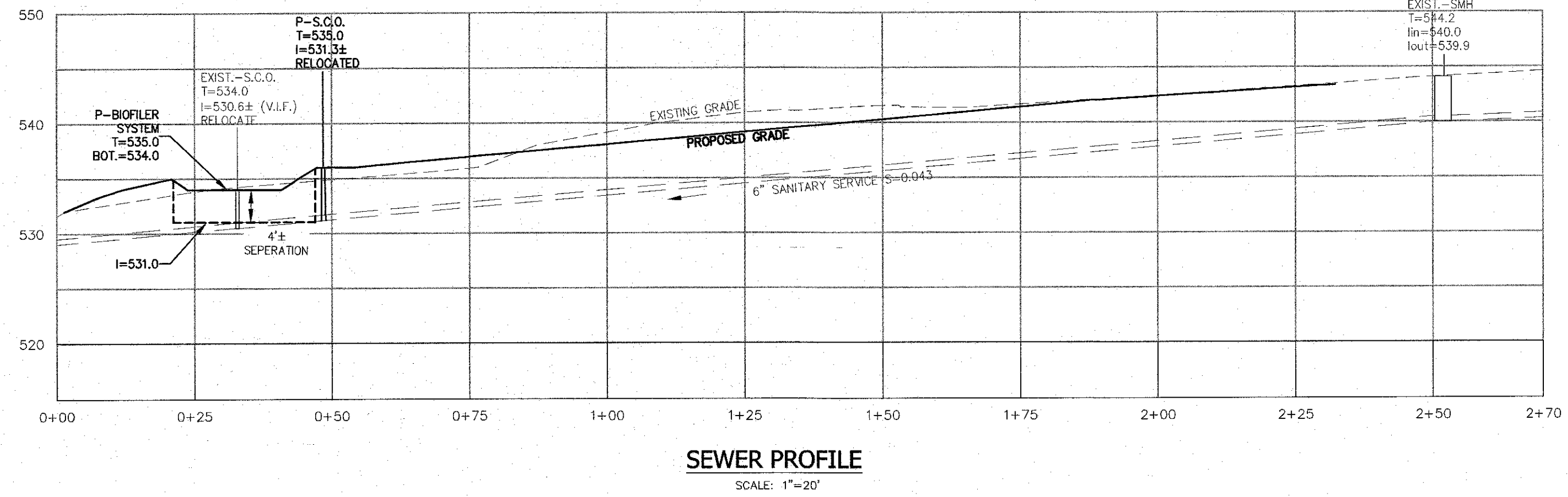
- MULCH AROUND INDIVIDUAL PLANTS ONLY. SHREDDED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE, FINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIOFILTER AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.
- THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE.
- ROOT STOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.
- TREES SHALL BE BRACED USING 2" X 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.
- GRASSES AND LEGUME SEED SHALL BE TILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS.
- THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIOFILTER STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS DEFATS, OR AT A MINIMUM, IMPEDES THIS GOAL. ONLY ADD FERTILIZER IF WOOD CHIPS OR MULCH IS USED TO AMEND THE SOIL. ROTOTILL UREA FERTILIZER AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET.

MISCELLANEOUS:

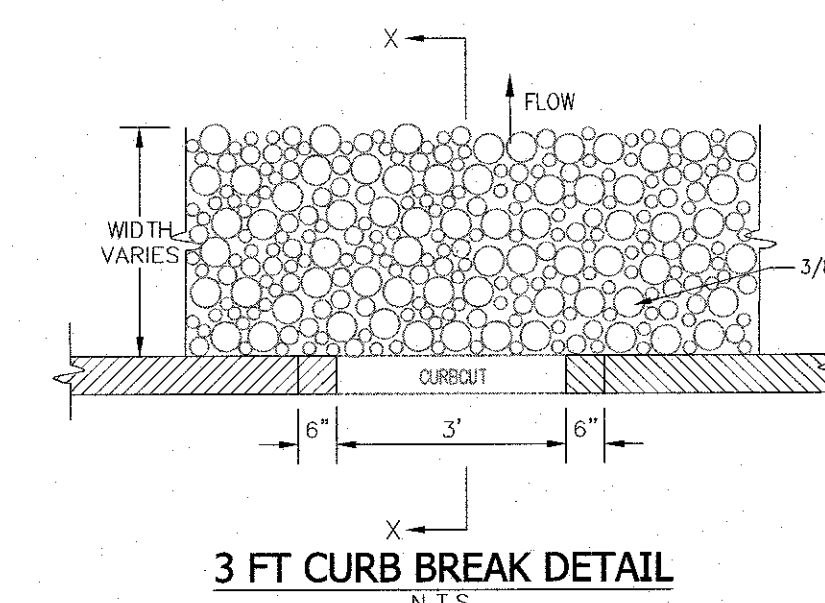
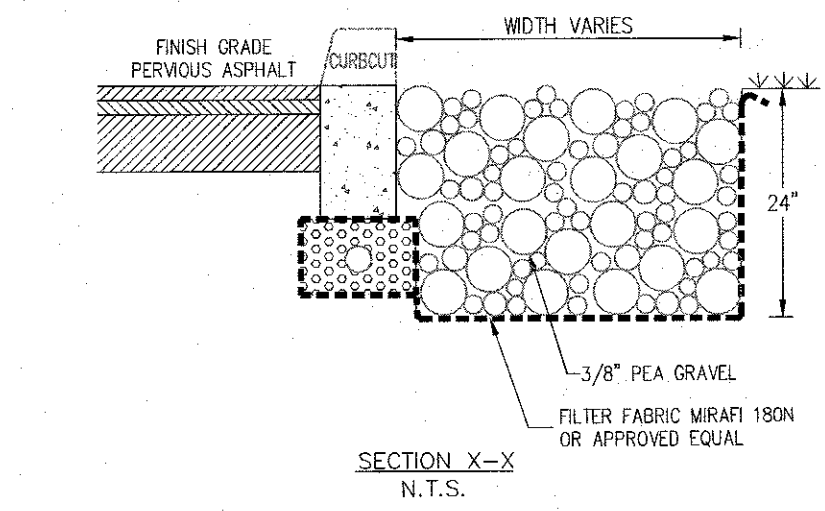
THE BIOFILTER FACILITY MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

P-BIOFILTER PLANT LIST PER NYSDEC STORMWATER MANAGEMENT DESIGN MANUAL

PLANT NAME	SYMBOL	CONT.	CAL.	QUANTITY
TREE				
RIVER BIRCH (BETULA NEGRA)	BN	B & B	2 1/2"	2
SHRUB				
WINTERBERRY (ILEX VERTICILLATA)	IV	30-36"	5 GAL	15
NORTHERN BURGUNDY ARROWWOOD VIBURNUM (VIBURNUM DENTATUM)	VO	5 GAL		3
LEATHERLEAF VIBURNUM (VIBURNUM RHYTHYDOPHYLLUM)	VR	5 GAL		12
GRASSES				
BROWN FOX SEDGE (CAREX VULPINOIDEA)	CV	1 GAL		14
PURPLE CONEFLOWER (ECHINACEA PURPUREA)	EP	2 GAL		18
SOFT RUSH (JUNCUS EFFUSUS)	JR	1 GAL		10
BLACK-EYED SUSAN (RUDBECKIA HIRTA MARMALADE)	RH	1 GAL		12



P-BIOFILTER SECTION
SCALE: 3"=1'-0"



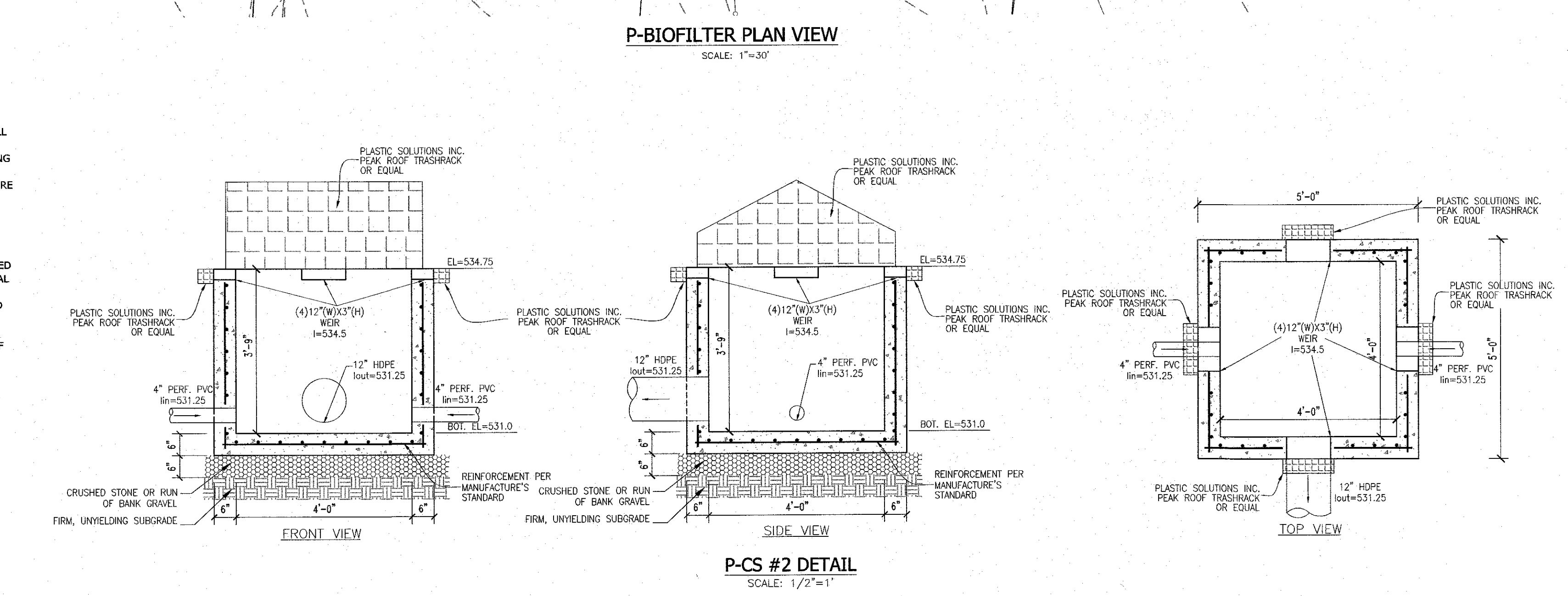
3 FT CURB BREAK DETAIL
N.T.S.

TABLE 1: MATERIALS SPECIFICATIONS FOR BIOFILTER

PARAMETER	SPECIFICATION	SIZE	NOTES
PLANTINGS	SEE YOUR LOCAL NRCS STANDARDS AND SPECIFICATIONS GUIDANCE	N/A	PLANTINGS ARE SITE-SPECIFIC
PLANTING SOIL	SAND 35 - 60% SILT 30 - 55% CLAY 10 - 25%	N/A	USDA SOIL TYPES LOAMY SAND, SANDY LOAM OR LOAM MULCH
MULCH	SHREDDED HARDWOOD		AGED 6 MONTHS, MINIMUM
PEA GRAVEL DIAPHRAGM AND CURTAIN DRAIN	PEA GRAVEL: ASTM D 448 ORNAMENTAL STONE: WASHED COBBLES	PEA GRAVEL: NO. 6 STONE: 2" TO 5"	
GEOTEXTILE	CLASS "C" APPARENT OPENING SIZE (ASTM-D-4751) GRAB TENSILE STRENGTH (ASTM-D-4632) BURST STRENGTH (ASTM-D-4633)	N/A	FOR USE AS NECESSARY BENEATH UNDERDRAINS ONLY OR PEAT.

PLANTING NOTES, MAINTENANCE AND SPECIFICATION:

- ALL PLANTING SHALL BE LOCATED, INSPECTED AND APPROVED BY A CERTIFIED LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL CHECK SOIL PH PRIOR TO START OF WORK AND AMEND AS REQUIRED TO BALANCE REQUIRED PH RANGE OF 5.2-7.0.
- PLANTS SHALL BE MIXED IN GROUP IN ALL DESIGNATED ZONES AS SHOWN ON DRAWING.
- PLANTS TO BE PLACED AT APPROXIMATE SPACING THROUGHOUT IN ZONES AS SHOWN ON DRAWING.
- PLANTS TO BE PLACED IN GROUPS IN ZONES AS SHOWN ON DRAWING.
- ALL PLANTS SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIALLY PERMITTED IN EACH INSTANT.
- PLANTS SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND BE DENSELY FOLIATED WHEN IN LEAF.
- PLANTS SHALL BE VIGOROUS AND FREE FROM DEFECTS, DISEASE, INSECT PESTS, EGGS OR LARVAE, SUN SCALDS, INJURIES AND ABRASIONS OF THE BARK. THEY SHALL HAVE WELL-DEVELOPED ROOT SYSTEMS.
- PLANTS SHALL BE CONTAINER GROWN OR BURLAP BALLED, FRESHLY DUG PLANTS, HELED IN PLANTS OR PLANTS FROM COLD STORAGE SHALL NOT BE ACCEPTABLE.
- MEASUREMENT OF SHRUBS SHALL BE TAKEN WHEN THEIR BRANCHES ARE IN NORMAL POSITION. THE HEIGHT AND SPREAD DIMENSION SHALL BE APPROVED BY A CERTIFIED LANDSCAPE ARCHITECT.
- GROUND COVER PLANTS SHALL BE FURNISHED IN POTS, UNLESS OTHERWISE SPECIFIED. THE PLANT SHALL HAVE SUFFICIENT GROWTH TO HOLD SOIL IN PLACE WHEN REMOVE FROM THE POT.
- ALL THE PLANT SHALL BE SELECTED AND PLANTED AS SPECIFIED IN THE TABULATE LIST ABOVE ACCORDING TO THE NYSDEC STORMWATER MANAGEMENT DESIGN MANUAL IN APPENDIX H.
- PLANTING SOIL SHALL BE COMPOSED OF A MIXTURE OF ONE PART TOPSOIL AND ONE PART ROOTED MANURE OR PEAT.
- MULCH SHALL BE IN CONFORMANCE WITH AS SPECIFIED IN NOTE #1 UNDER THE PLANT INSTALLATION GUIDELINE.
- FERTILIZER SHALL BE A STANDARD COMMERCIAL GRADE OF ORGANIC OR INORGANIC FERTILIZER OF (5-10-5) OR APPROVED EQUAL.
- ADDITIONAL CRUSHED STONE 1"-2" DIAMETER SHALL BE PLACED A MINIMUM OF 12" BELOW IN EXCAVATED TRENCHES BY OVER DIGGING DEEPER PITS TO A MINIMUM OF 12" DEPTH OR AS DIRECTED, IF THE NATURAL DRAINAGE IS UNSUITABLE FOR PROPER DRAINAGE FROM PITS.
- PLANT PITS SHALL BE 2X THE WIDTH OF ROOT BALL AND 6". REMOVE EXISTING SOIL FROM PLANT PIT AND BACKFILL WITH A MIXTURE OF ONE PART PEAT HUMUS, ONE PART DEHYDRATED COW MANURE AND FOUR PARTS TOPSOIL. MIX 5-10-5 (50%) SLOW RELEASE FERTILIZER (ROOTS OR RAPID GROW) IN ALL PLANTING BEDS AT SPECIFIED RATE. FOR EVERGREEN PLANTING ADD 1 lb. per 100 square ft. OF PLANT BED AREA OF AMMONIUM SULFATE AND SUPERPHOSPHATE.
- MAINTENANCE OF ALL PLANTS SHALL BE REQUIRED FROM THE TIME OF PLANTING UNTIL THE INITIAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, TIGHTENING AND REPAIRING, RESETTling PLANTS TO PROPER GRADES OR UPRIGHT POSITION AND REMOVAL OF DEAD MATERIALS. NO PLANTS WILL BE ACCEPTABLE UNLESS THEY SHOW A HEALTHY AND SATISFACTORY FOLIAGE CONDITION.



P-C-S #2 DETAIL
SCALE: 1/2"=1"

NO.	DATE	DESCRIPTION
8	12-17-24	PER VILLAGE ENGINEER
7	9-23-24	RESURVEY & PER PB MTG 8-6-24
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYSOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGS.
1	2-6-23	REVISE ADDITION & PARKING

ATZL, NASHER & ZIGLER P.C.
ENGINEERS - SURVEYORS - PLANNERS

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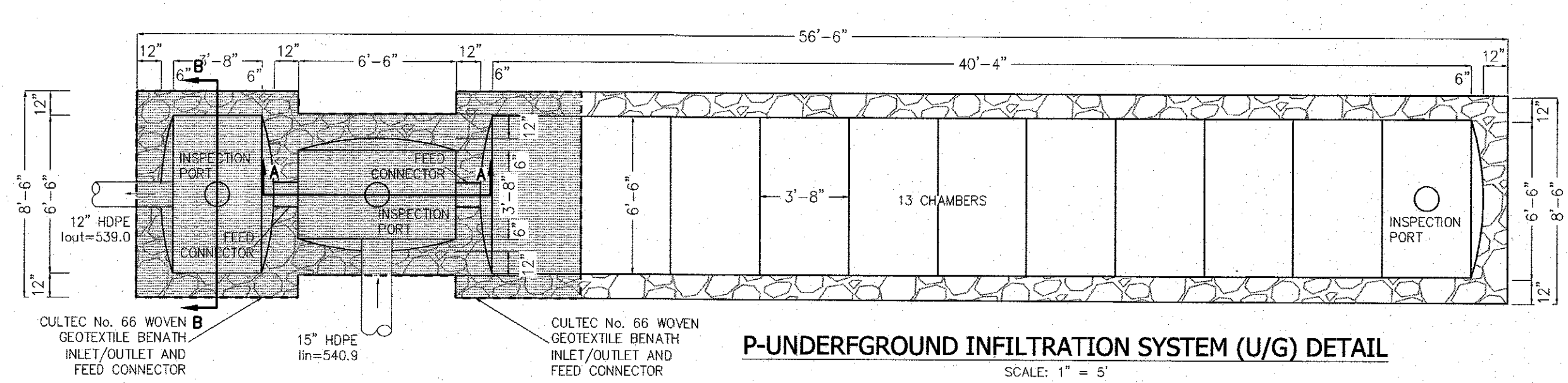
PROJECT: **HAMASPIK CHOICE**
F/K/A ILLINOIS PROPERTIES 26 LLC

VILLAGE OF NEW HEMPSTEAD
ROCKLAND COUNTY, NEW YORK

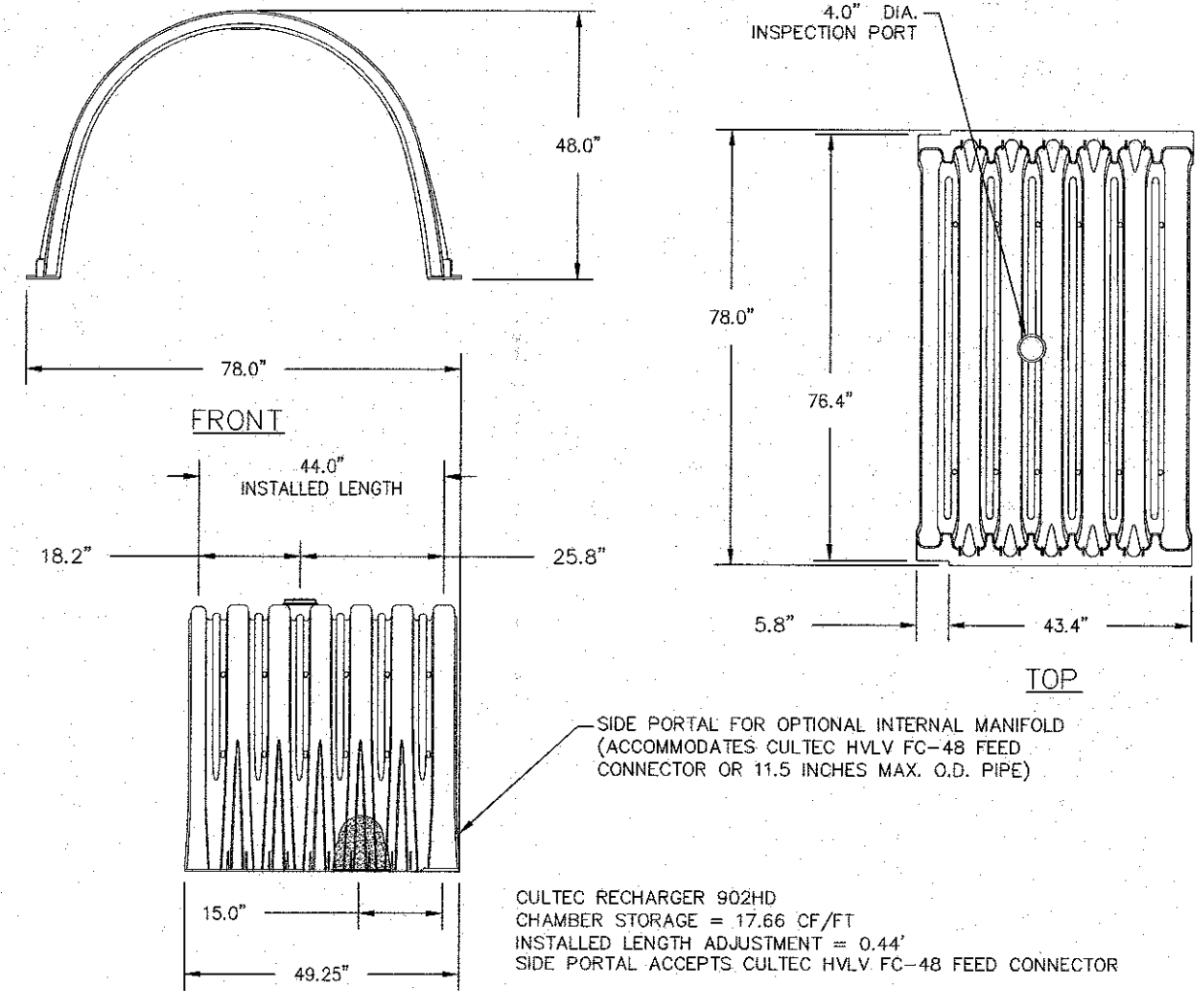
TITLE: **DRAINAGE DETAILS - 1**

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: AS SHOWN
PROJECT NO: 5030	DRAWING NO: 5

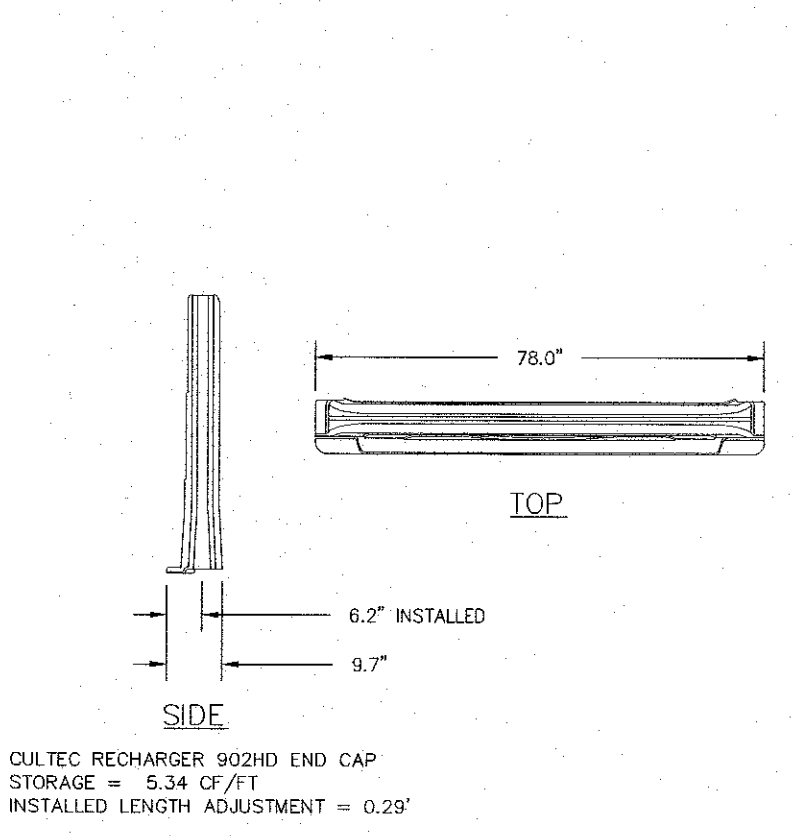
P:\DRAWINGS\5030\5030 SITE PLAN & TEST HOLE 12-17-24.DWG



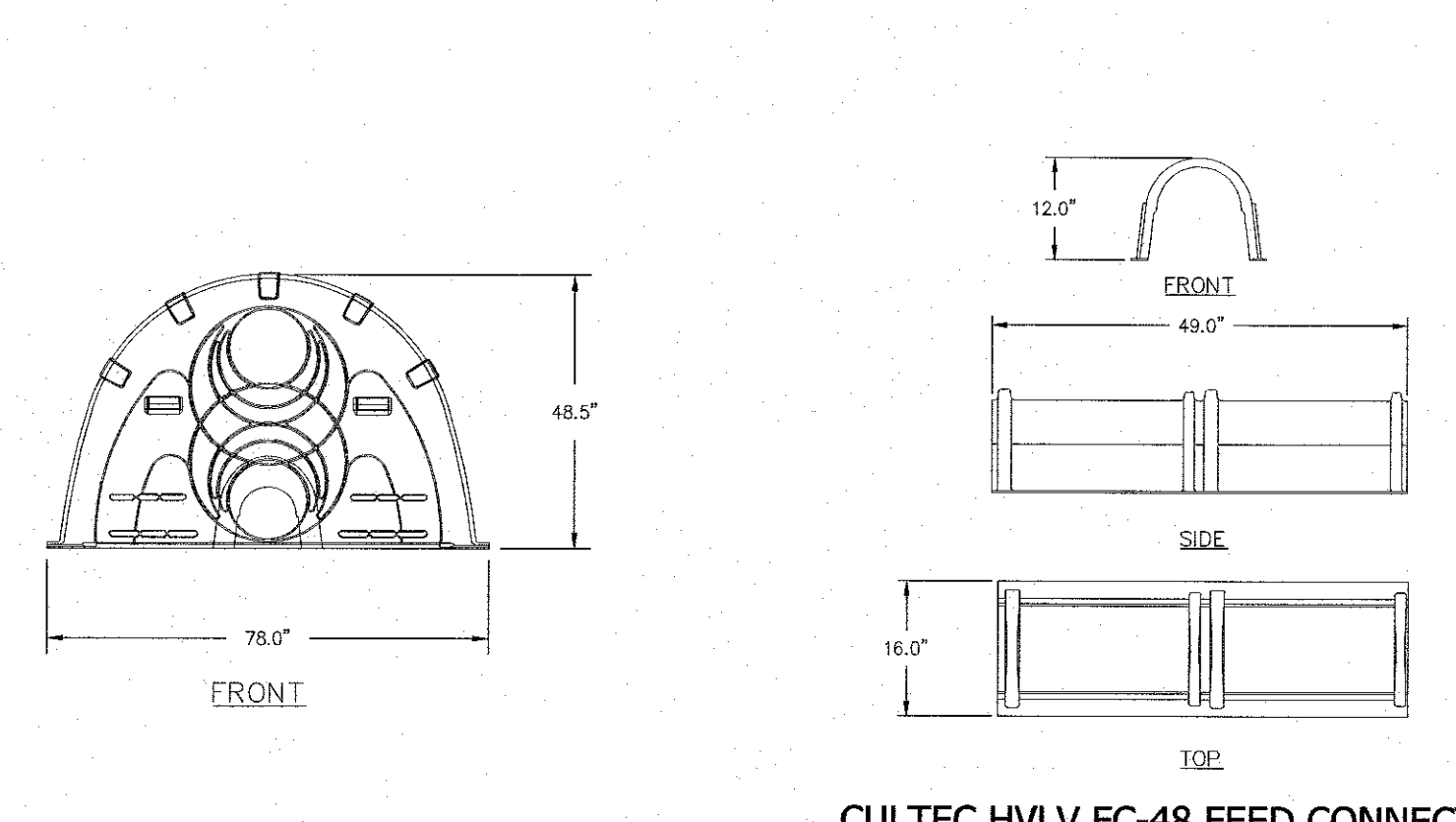
P-UNDERGROUND INFILTRATION SYSTEM (U/G) DETAIL
SCALE: 1" = 5'



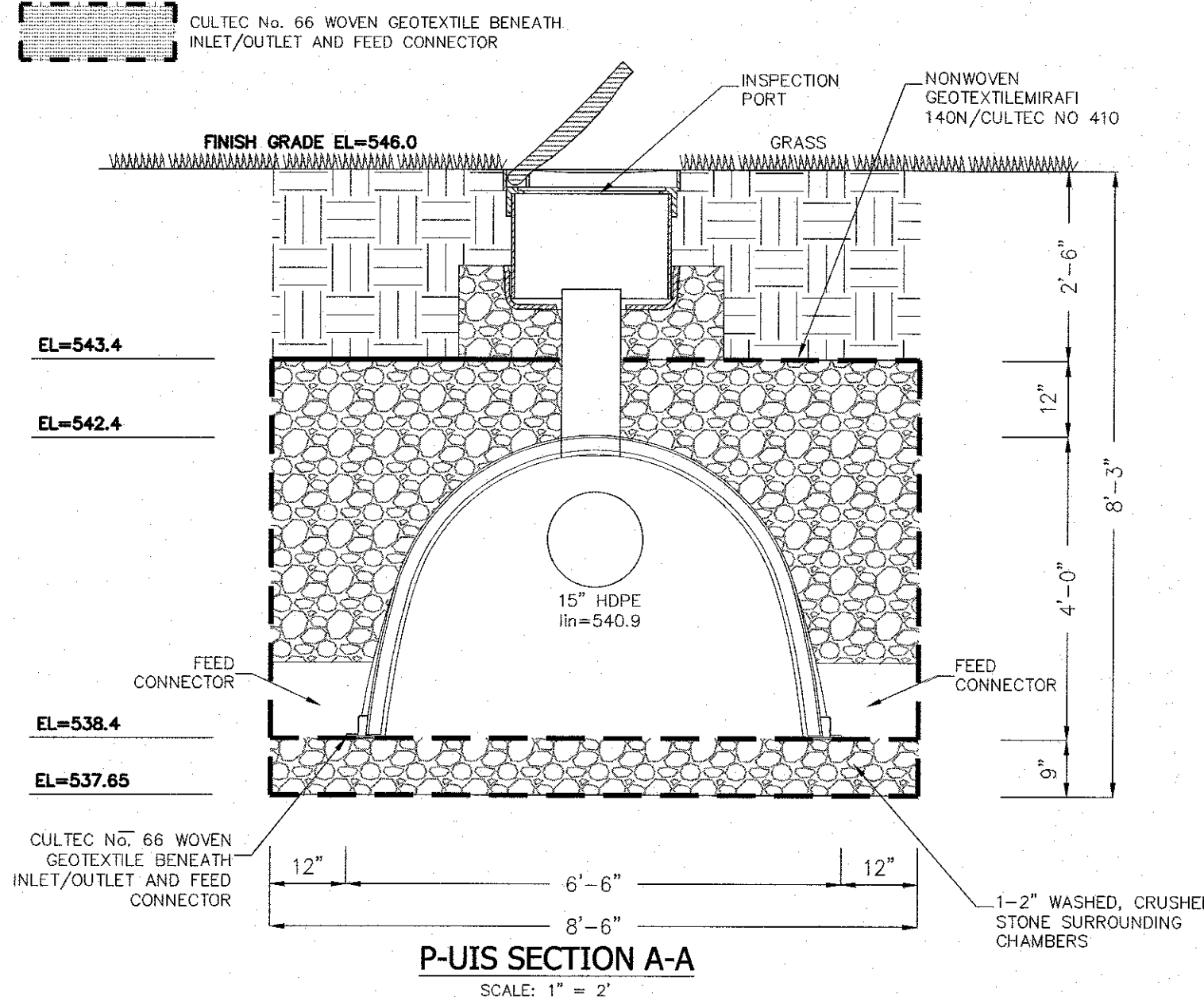
CULTEC RECHARGER 902HD HEAVY DUTY
N.T.S.



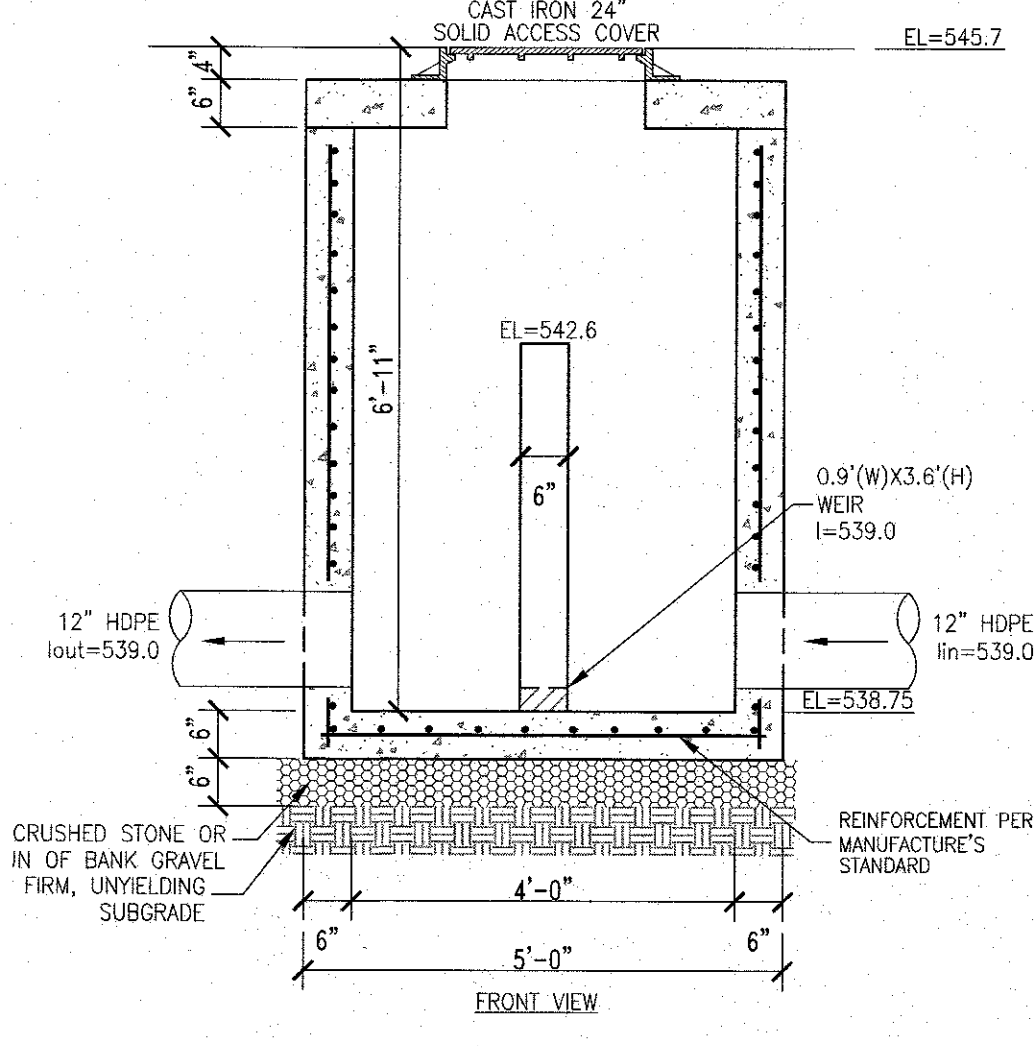
CULTEC RECHARGER 902HD HEAVY DUTY END CAP
N.T.S.



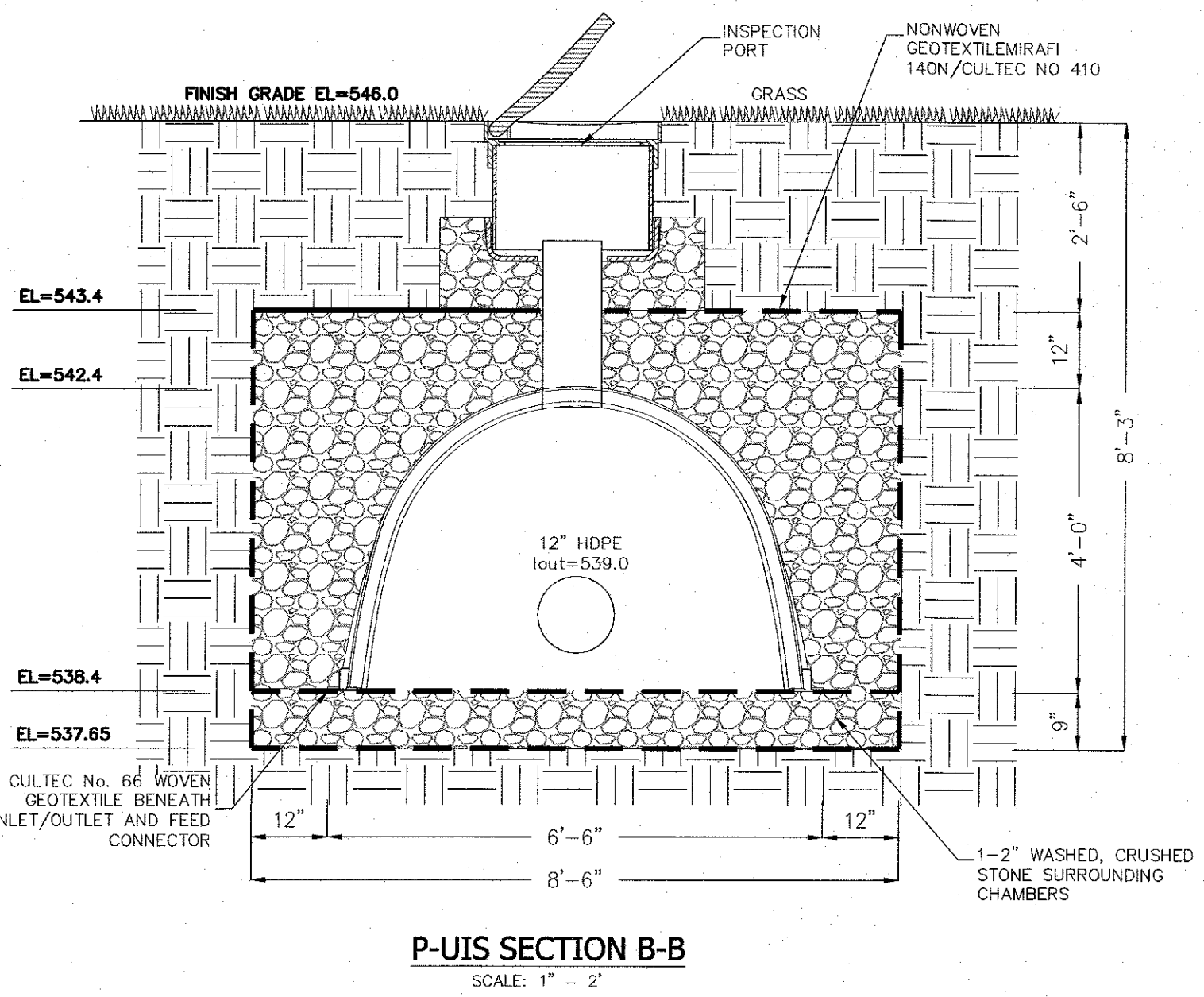
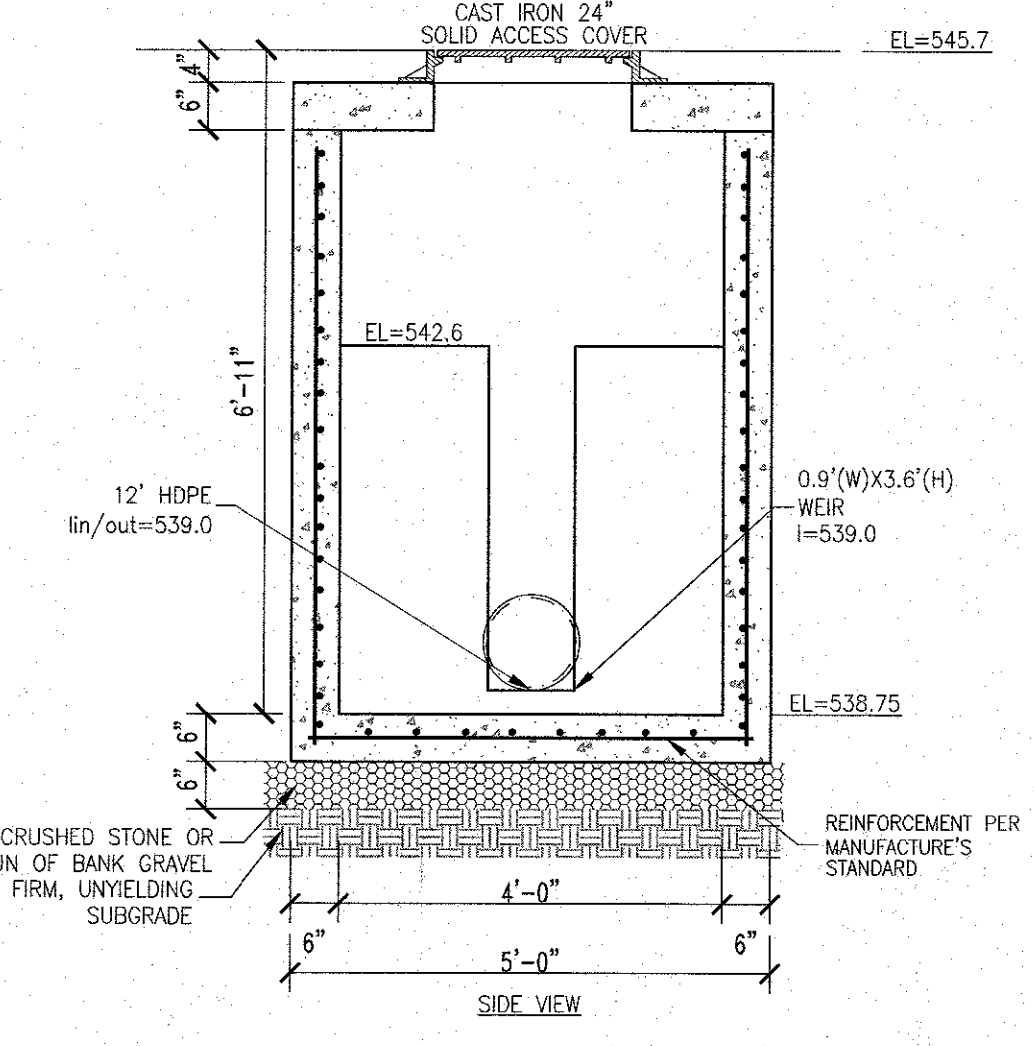
CULTEC HVLV FC-48 FEED CONNECTOR
N.T.S.



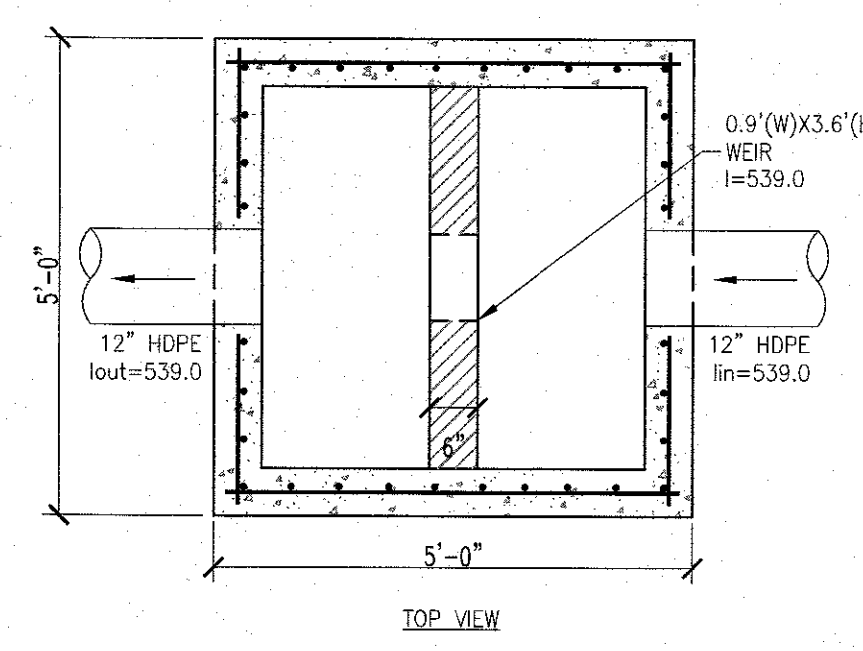
P-UIS SECTION A-A
SCALE: 1" = 2'



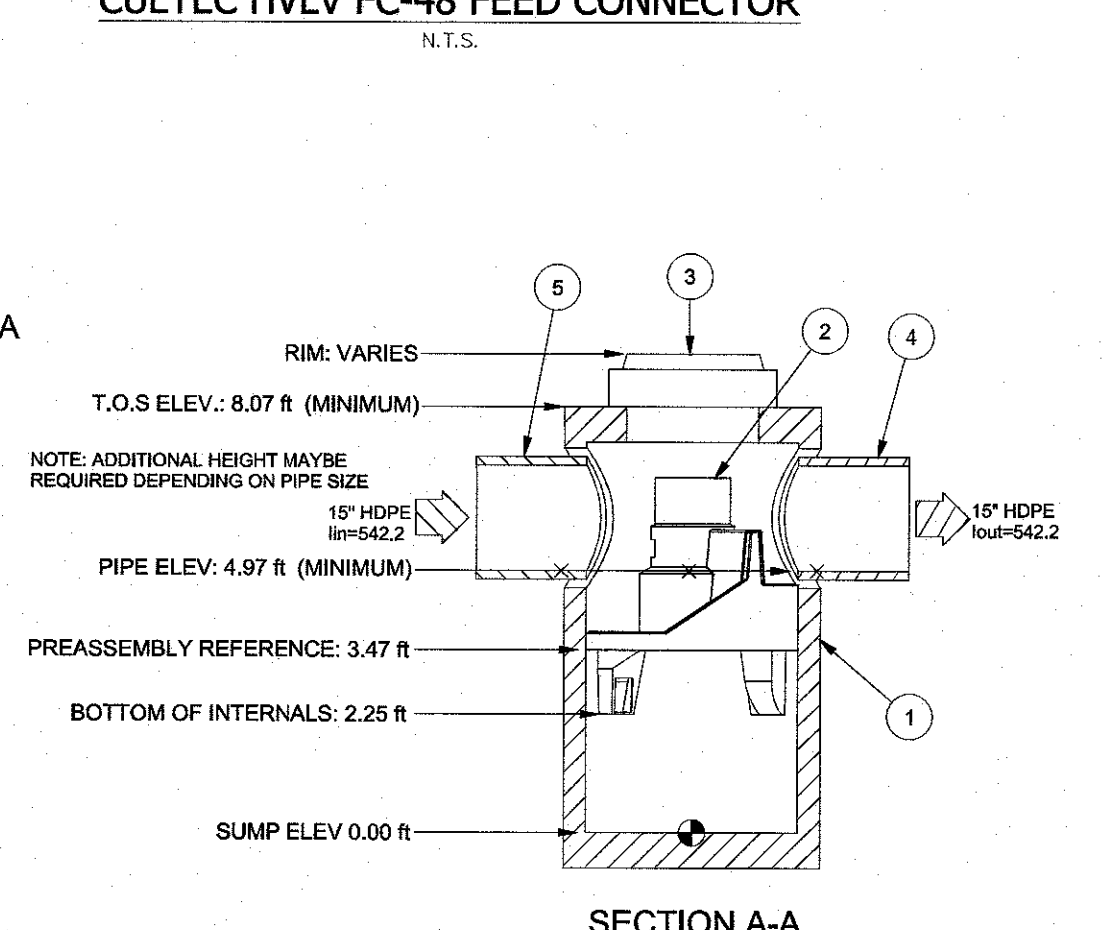
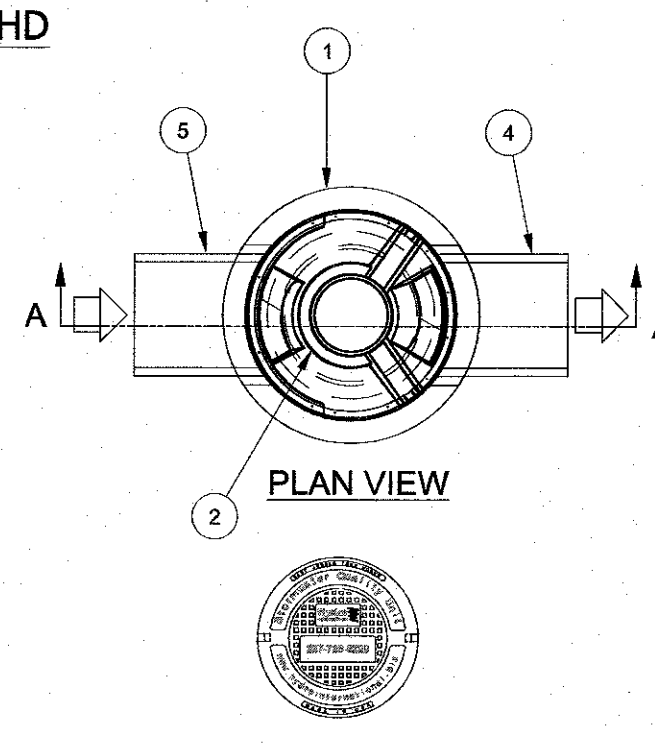
P-CS #1 DETAIL
SCALE: 1/2" = 1'



P-UIS SECTION B-B
SCALE: 1" = 2'

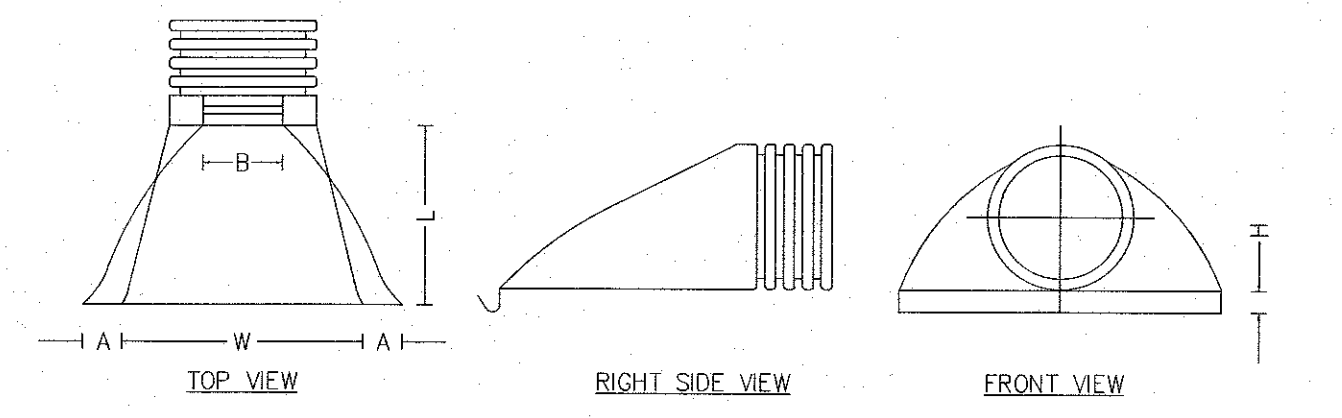


HYDRO FRAME AND COVER (INCLUDED)
GRADE RINGS BY OTHERS AS REQUIRED



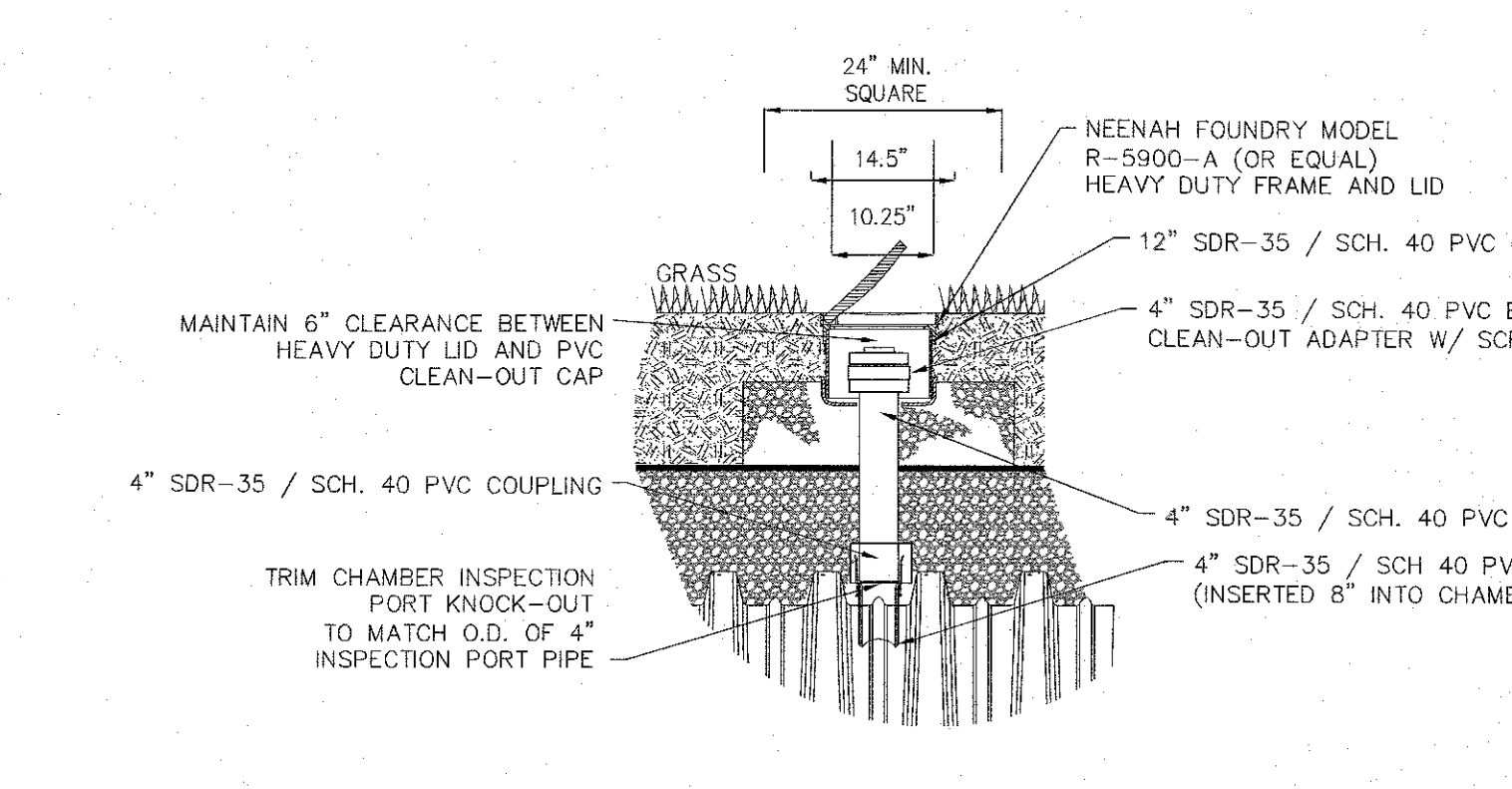
ITEM	QTY	SIZE (in)	DESCRIPTION
1	1	48	I.D. PRECAST MANHOLE (PRE-INSTALLED)
2	1		INTERNAL COMPONENTS (PRE-INSTALLED)
3	1	30	FRAME AND COVER (ROUND)
4	1	24 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	24 (MAX)	INLET PIPE (BY OTHERS)

PRE-TREATMENT SYSTEM (FIRST DEFENSE FD-4HC OR EQUAL) DETAIL
N.T.S.

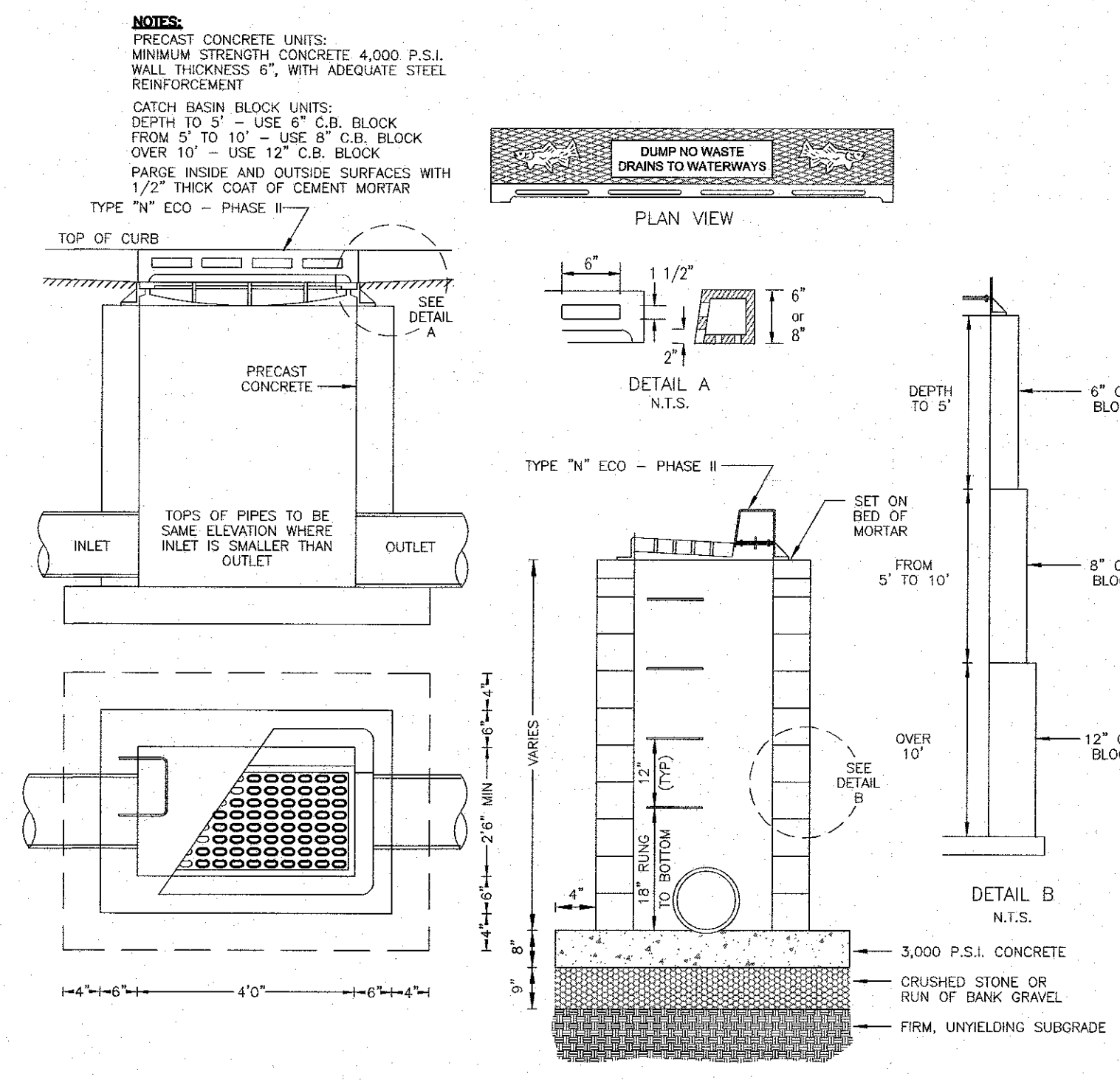


PIPE SIZE	A	B (MAX)	H	L	W
12 IN.	6.5 IN.	10 IN.	6.5 IN.	25 IN.	29 IN.

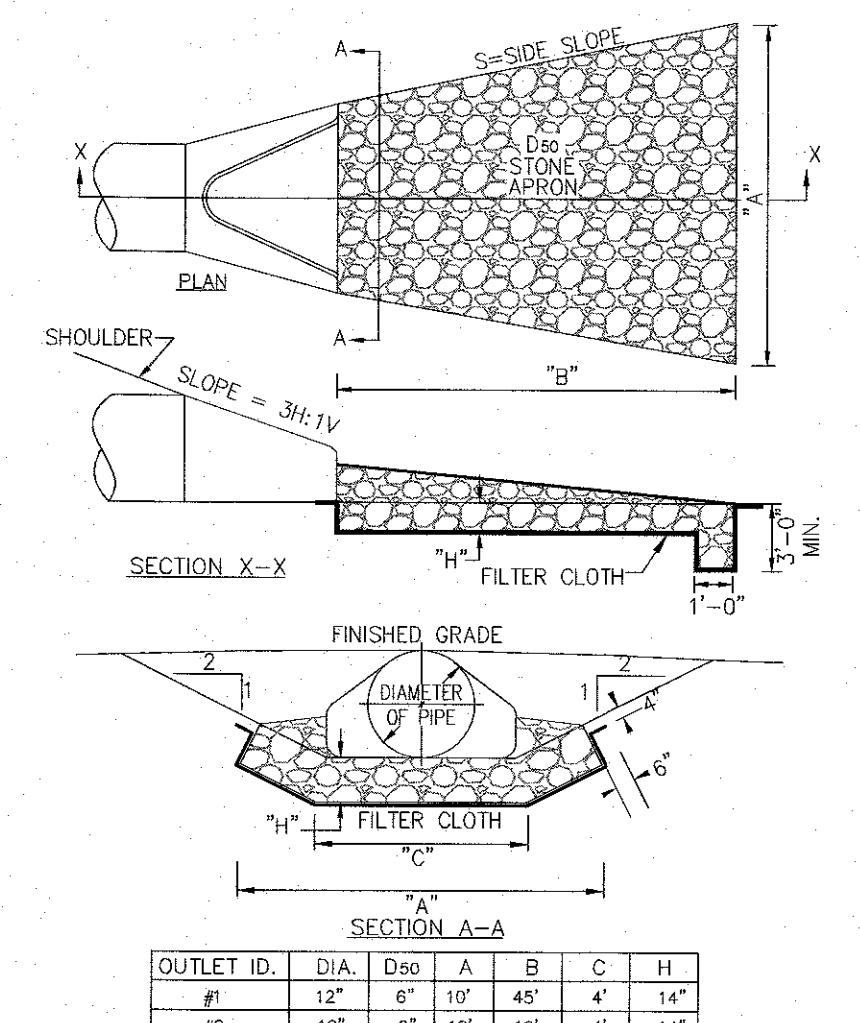
12" FLARED END SECTION DETAIL
N.T.S.



INSPECTION PORT DETAIL
N.T.S.



TYPE N CATCH BASIN DETAIL
N.T.S.



FLARED END SECTION & STONE OUTLET DETAIL
N.T.S.

OUTLET ID.	DIA.	D ₅₀	A	B	C	H
#1	12"	6"	10'	45'	4'	14"
#2	12"	6"	12'	10'	4'	14"

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMPLOYER SEAL OR A MEASUREMENT SECTION FROM SUBDIVISION 2 OF THE NEW YORK STATE GEODESY LAW...
 CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS AND FOR THE ACCOMPANYING SPECIFICATIONS...
 STATE OF NEW YORK
 RYAN A. NASHER, P.E.
 N.Y.S. P.E. LIC. NO. 89066
 JOHN R. ATZL, P.E.
 N.Y.S. P.E. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
8	12-17-24	PER VILLAGE ENGINEER
7	9-23-24	RESURVEY & PER PB MTC 8-6-24
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYS DOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGS.
1	2-6-23	REVISE ADDITION & PARKING

ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.anzny.com

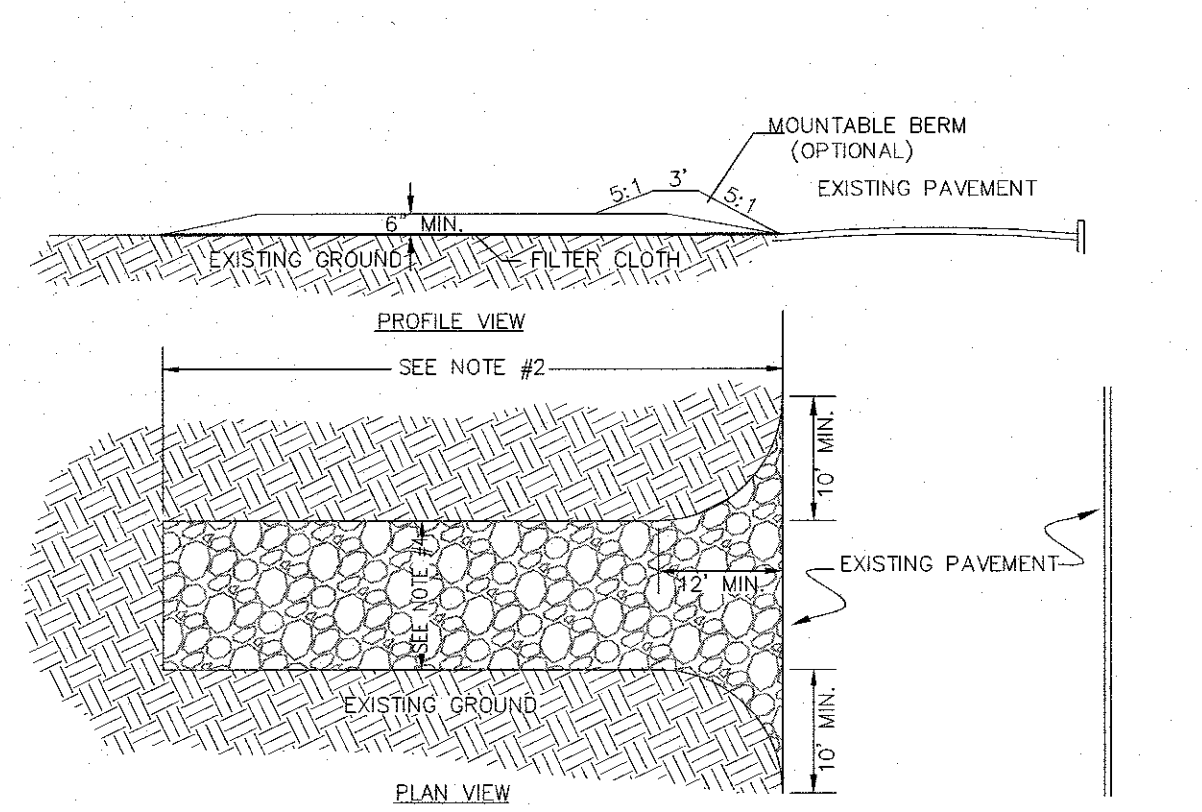
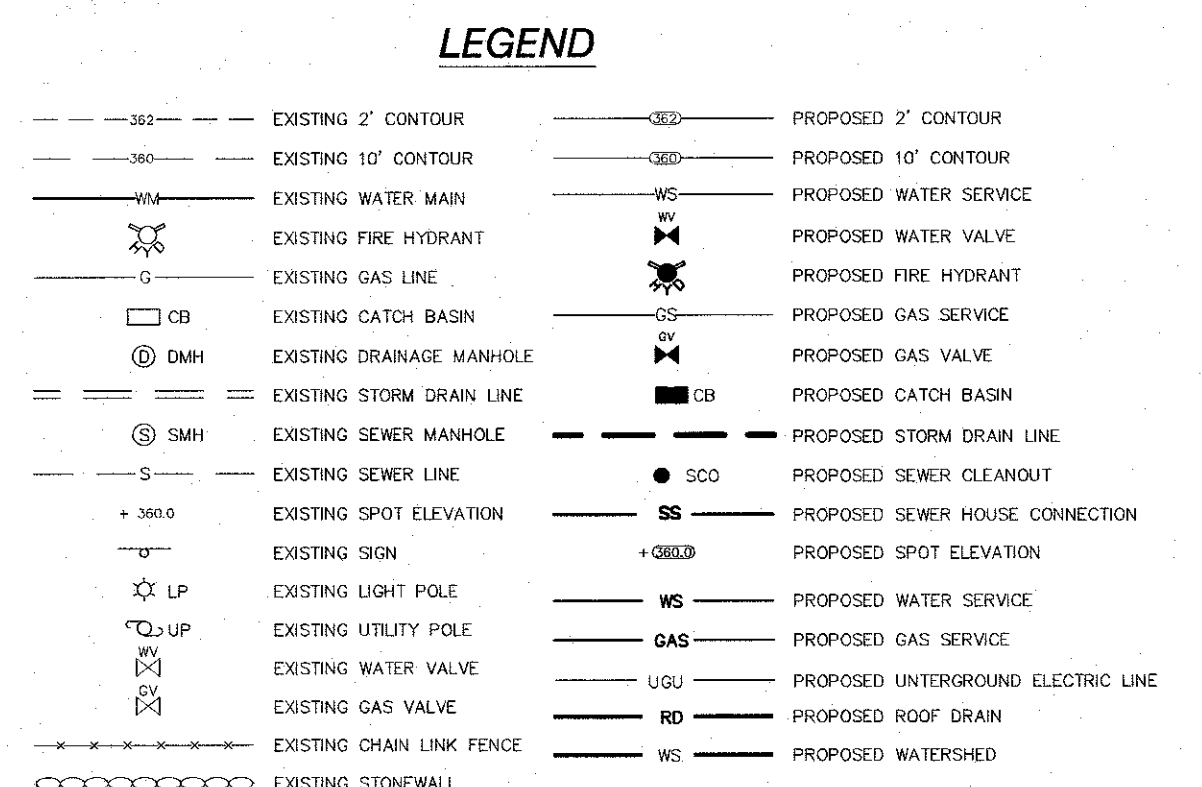
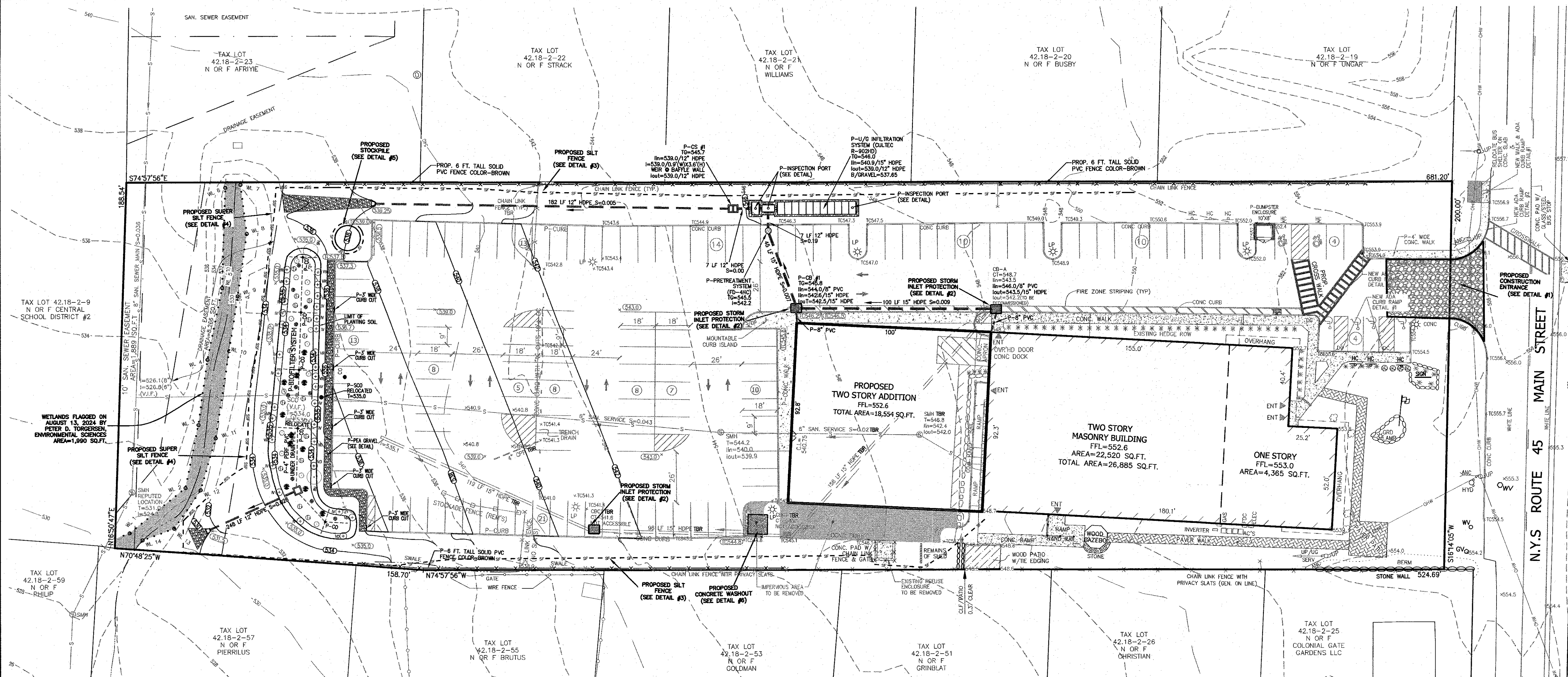
PROJECT: **HAMASPIK CHOICE**
F/K/A ILLINOIS PROPERTIES 26 LLC

VILLAGE OF NEW HEMPSTEAD
 ROCKLAND COUNTY, NEW YORK

TITLE: **DRAINAGE DETAILS - 2**

DRAWN BY:	LF	CHECKED BY:	JRA
DATE:	APRIL 04, 2024	SCALE:	AS SHOWN
PROJECT NO.:	5030	DRAWING NO.:	6

P:\DRAWINGS\5030\5030 SITE PLAN & TEST HOLE 12.17.24.DWG



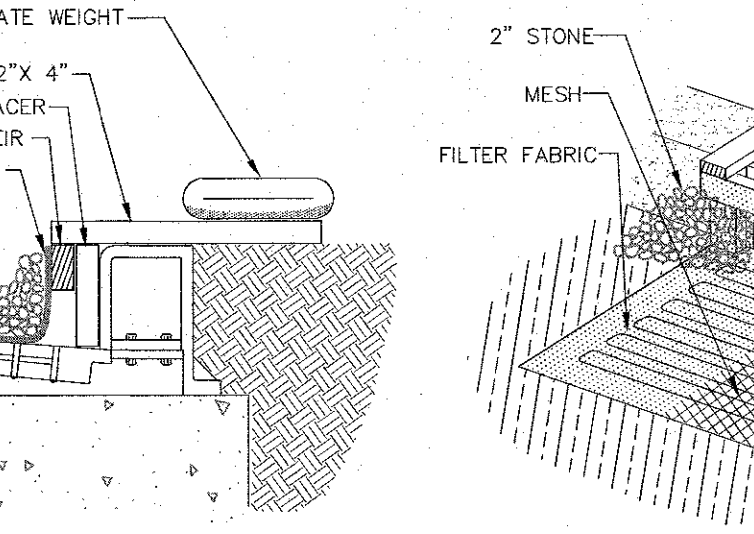
SPECIFICATIONS FOR CONSTRUCTION ENTRANCE

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FT. (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FT. MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN 6 IN.
- WIDTH - 12 FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR. 24 FT. IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

CONSTRUCTION ENTRANCE DETAIL #1
N.T.S.

SPECIFICATIONS FOR CURB INLET PROTECTION

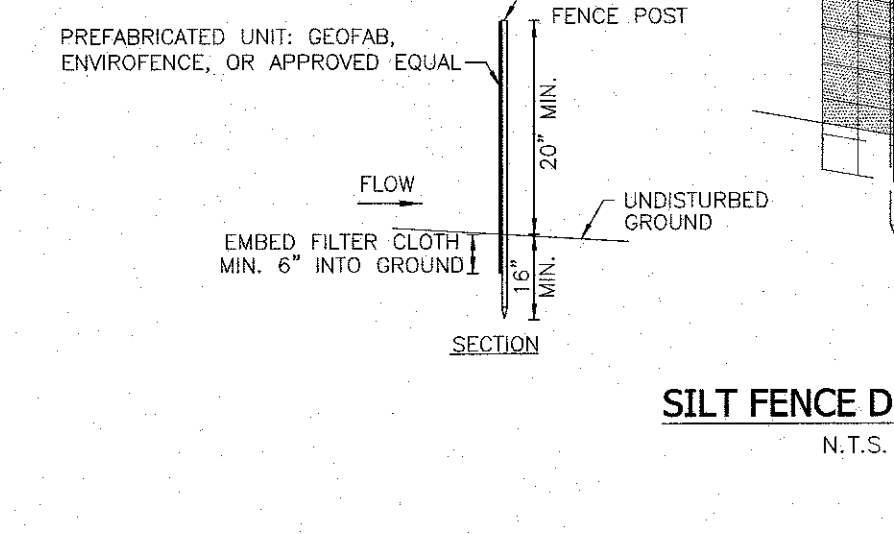
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
- WOODEN FRAME SHALL BE CONSTRUCTED OF 2"x4" CONSTRUCTION GRADE LUMBER.
- WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30" MINIMUM WIDTH WITH A LENGTH 4' LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2"x4" WEIR.
- THE WEIR SHALL BE SECURELY NAILED TO 2"x4" SPACERS 9" LONG SPACED NO MORE THAN 6" APART.
- THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2"x4" ANCHORS 2' LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.



CURB INLET PROTECTION DETAIL #2
N.T.S.

CONSTRUCTION NOTES FOR PRE-FABRICATED SILT FENCE

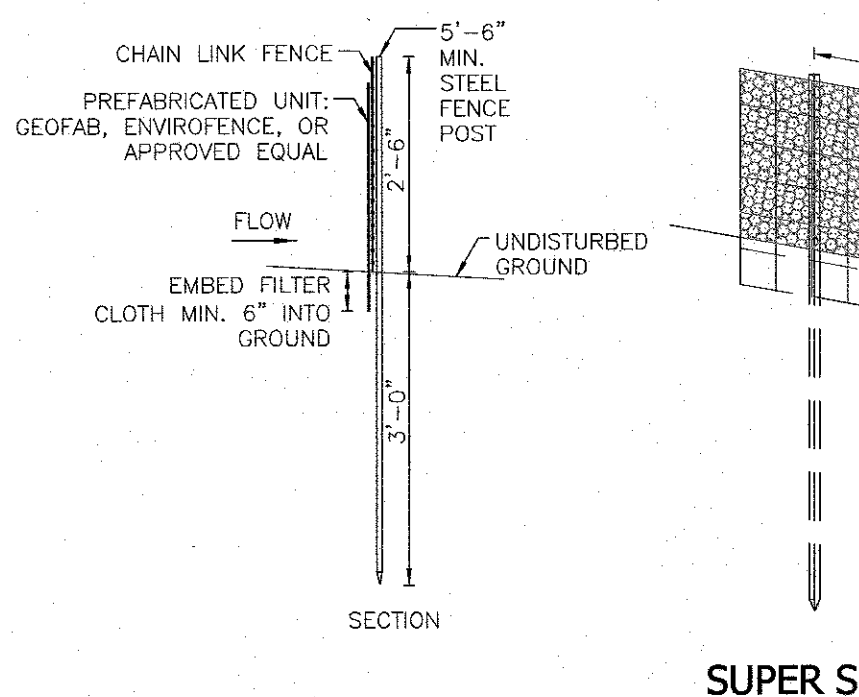
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- THE FABRIC SHALL BE PLACED AGAINST CHAIN LINK FENCE AS SUPPORT BACKING WITH POSTS DRIVEN 3 FEET IN THE GROUND.
- POSTS FOR SUPER SILT FENCE SHALL BE STANDARD CHAIN LINK FENCE POSTS.



SILT FENCE DETAIL #3
N.T.S.

CONSTRUCTION NOTES FOR PRE-FABRICATED SILT FENCE

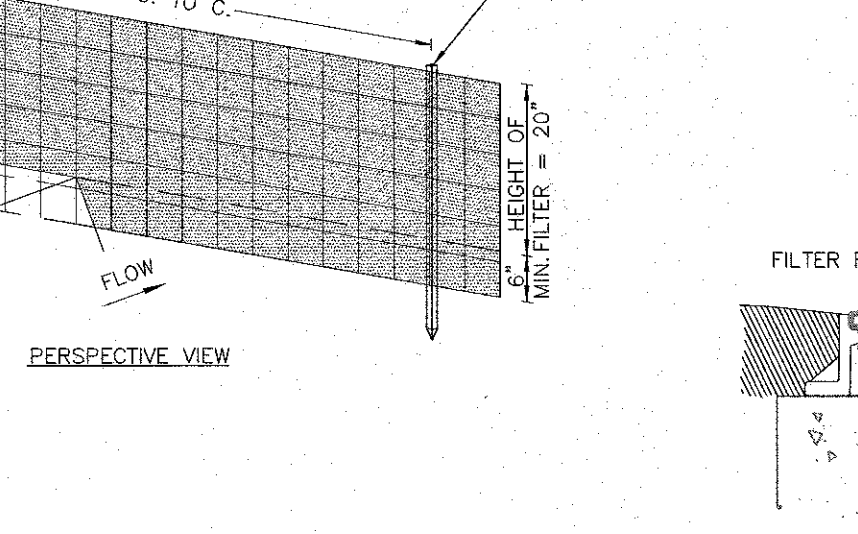
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- THE FABRIC SHALL BE PLACED AGAINST CHAIN LINK FENCE AS SUPPORT BACKING WITH POSTS DRIVEN 3 FEET IN THE GROUND.
- POSTS FOR SUPER SILT FENCE SHALL BE STANDARD CHAIN LINK FENCE POSTS.



SUPER SILT FENCE DETAIL #4
N.T.S.

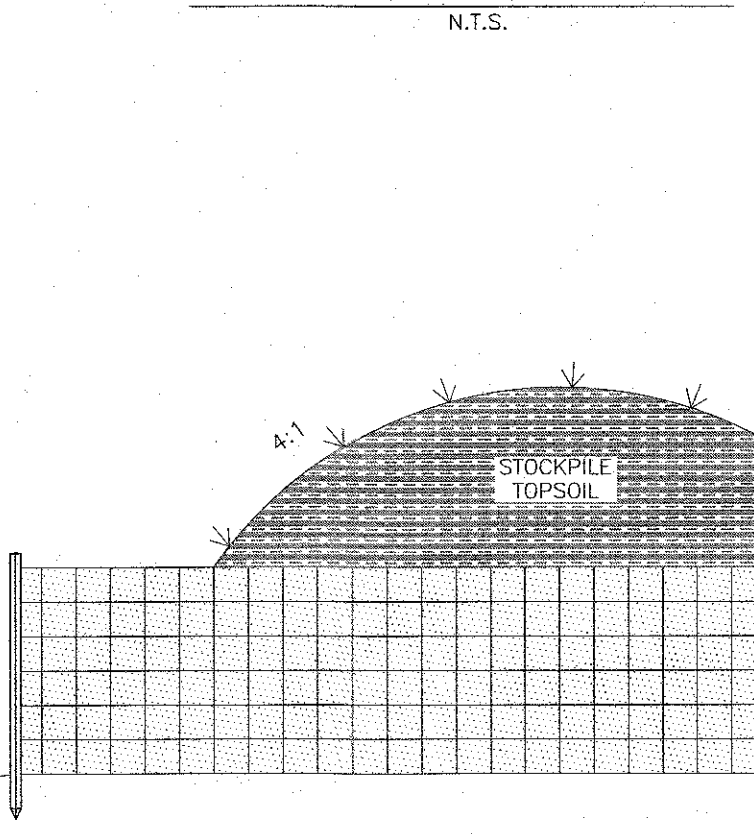
CONSTRUCTION NOTES FOR PRE-FABRICATED SILT FENCE

- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



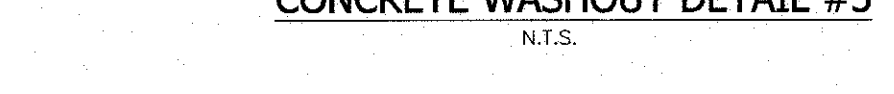
CONCRETE WASHOUT DETAIL #5
N.T.S.

STOCKPILE DETAIL #6



STOCKPILE DETAIL #6
N.T.S.

BALE CONFIGURATION



BALE CONFIGURATION
N.T.S.

REVISION	DATE	DESCRIPTION
8	12-17-24	PER VILLAGE ENGINEER
7	9-23-24	RESURVEY & PER PB MTG 8-6-24
6	4-12-24	FOR PB SUBMISSION
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2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGS.
1	2-6-23	REVISE ADDITION & PARKING

ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS

232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT: **HAMASPIK CHOICE**
F/K/A ILLINOIS PROPERTIES 26 LLC

VILLAGE OF NEW HEMPSTEAD
ROCKLAND COUNTY, NEW YORK

EROSION & SEDIMENT CONTROL PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 7

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7200, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.

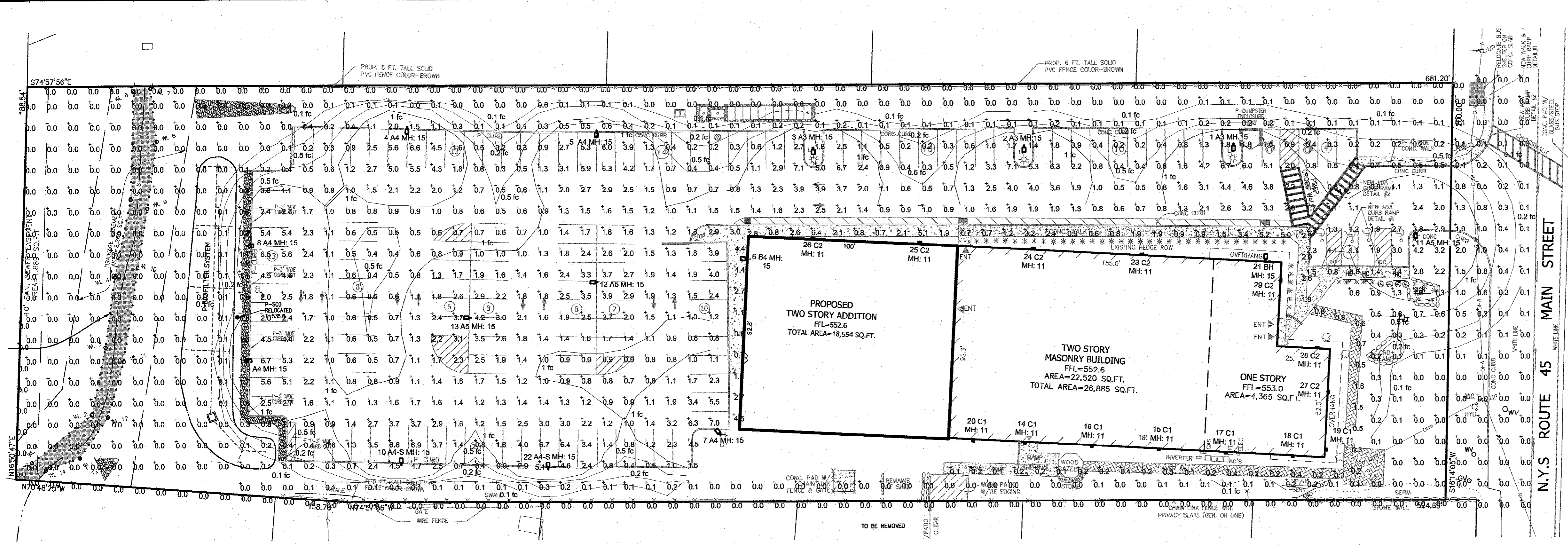
ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID FOR OFFICIAL USE.

CERTIFICATION INDICATED HERE ON SHOWS THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE SURVEYING AND MAPPING ACT OF 2020, AS AMENDED BY THE DELAWARE - HAZARD LAND SURVEYING ASSOCIATION (DHLA) CERTIFICATION PROGRAM. THESE SUCH ALTERATIONS ARE MADE, THE ENGINEER, SURVEYOR OR ARCHITECT SHALL BE RESPONSIBLE FOR THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND FOR THE SPECIFICATIONS (BY EDUCATION LAW SECTION 7209-2).

STATE OF NEW YORK
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
JOHN R. ATZL
N.Y.S. P.E. LIC. NO. 60228

P:\DRAWINGS\EROSION\EROSION SITE PLAN & TEST HOLE 12-17-24.DWG

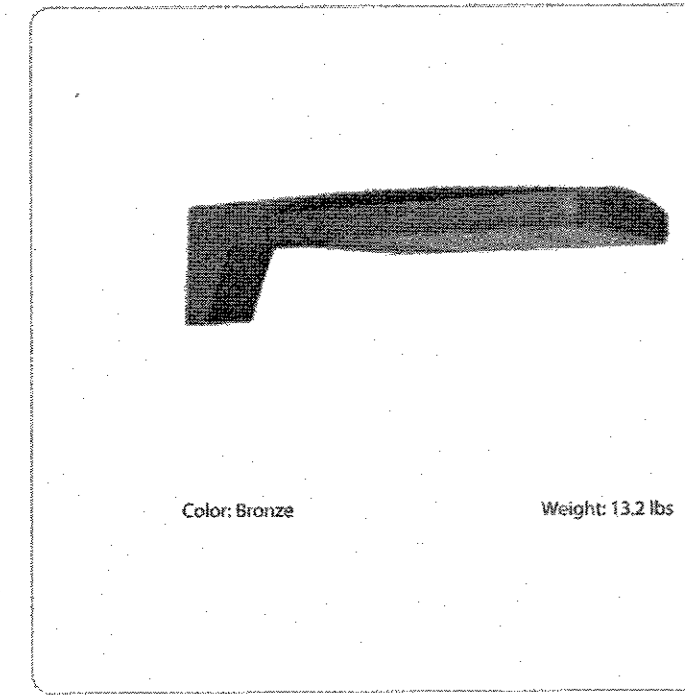


LumNo	Orient	Tilt	Tag	X	Y	MTG HT
1	270	0	A3	631.166	355.547	15
2	270	0	A3	533.185	355.397	15
3	270	0	A3	434.255	355.898	15
4	266.233	0	A4	244.093	365.843	15
5	266.233	0	A4	332.693	363.943	15
6	175	0	B4	403.339	303.603	15
7	130	0	A4	389.062	220.351	15
8	0	0	A4	168.481	310.385	15
9	0	0	A4	167.6	256.3	15
10	90	0	A4-S	240.636	206.779	15
11	90	0	A5	716.3	311.9	15
12	180	0	A5	332.4	292.7	15
13	180	0	A5	272.2	276.1	15
14	265	0	C1	552.605	216.864	11
15	265	0	C1	595.862	213.327	11
16	265	0	C1	564.283	214.944	11
17	265	0	C1	627.64	211.753	11
18	265	0	C1	659.319	210.096	11
19	355	0	C1	674.639	212.849	11
20	265	0	C1	508.026	217.742	11
21	86.599	0	B4	635.954	301.331	15
22	90	0	A4-S	309.336	204.679	15
23	90	0	C2	588.1	304.9	11
24	90	0	C2	536.6	307.8	11
25	90	0	C2	482.9	310.9	11
26	90	0	C2	432.5	313.5	11
27	0	0	C2	675.6	240.2	11
28	90	0	C2	670.8	260.7	11
29	0	0	C2	653.2	292.9	11
Total Quantity: 29						

Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
3		ALEDSTY @60W	Single	TYPE III AREA LIGHT	A3	1.000	7710	56.2	168.6
5		ALEDSTY @60W	Single	TYPE IV AREA LIGHT	A4	1.000	7517	57.2	286
2		ALEDSTY @60W + HSS	Single	TYPE IV AREA LIGHT W/ SHIELD	A4-S	1.000	7070	57.2	114.4
3		ALEDSTY @60W	Single	TYPE V AREA LIGHT	A5	1.000	8136	57.3	171.9
2		ALEDSTWMYA @40W	Single	WALL MOUNT	B4	1.000	5468	40.4	80.8
7		WPLEDSY	Single	WALLPACK	C1	1.000	128	5.3	37.1
7		SLIM17FA15ADJ @3K	Single	WALLPACK	C2	1.000	1761	14.2	99.4

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PISpLr	PISpTb	Meter Type
Building Perimeter	Illuminance	Fc	1.48	6.4	0.1	14.80	64.00	10	N.A.	Horizontal
Property Line	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.	10	N.A.	Horizontal
Parking Lot	Illuminance	Fc	0.64	7.1	0.0	N.A.	N.A.	10	N.A.	Horizontal

ALEDSTY



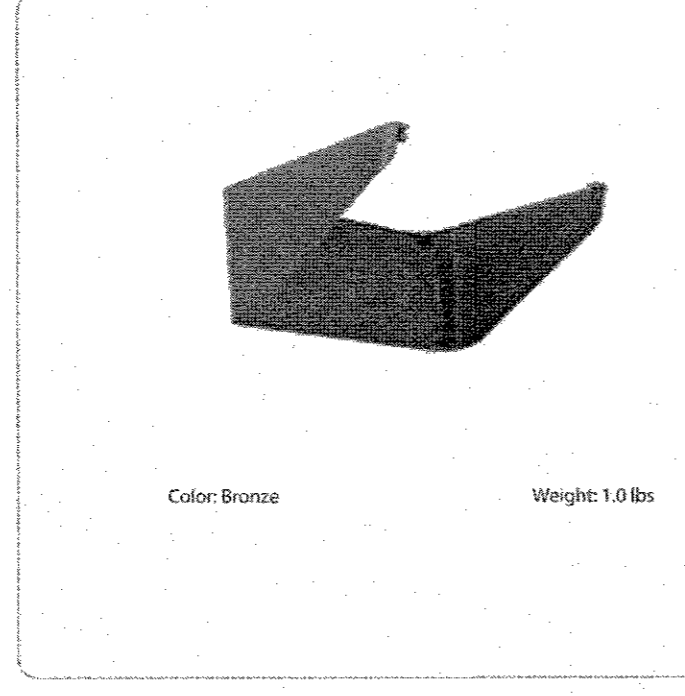
Project: _____ Type: _____

Prepared By: _____ Date: _____

Driver Info	LED Info
Type: Constant Current	Watts: 80W
120V 0.67A	Color Temp: 3000K (Warm)
208V 0.40A	Color: 82/83 CR
240V 0.34A	Accuracy: 82 CR
277V 0.30A	L70 LifeSpan: 100,000 Hours
Input Watts: 81.3/57.3/46.5W	Lumens: 11,016/8,136/5,918 lm
	Efficacy: 135.4/142/146.1 lm/W

Color: Bronze Weight: 13.2 lbs

ALEDSHS



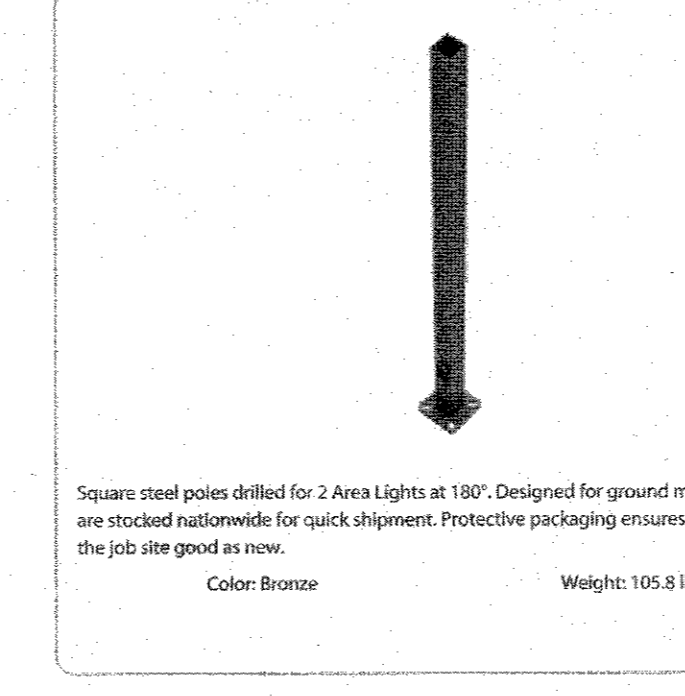
Project: _____ Type: _____

Prepared By: _____ Date: _____

Driver Info	LED Info
Type: Constant Current	Watts: 80W
120V 0.67A	Color Temp: 3000K (Warm)
208V 0.40A	Color: 82/83 CR
240V 0.34A	Accuracy: 82 CR
277V 0.30A	L70 LifeSpan: 100,000 Hours
Input Watts: 81.3/57.3/46.5W	Lumens: 11,016/8,136/5,918 lm
	Efficacy: 135.4/142/146.1 lm/W

Color: Bronze Weight: 1.0 lbs

PS4-11-15D2



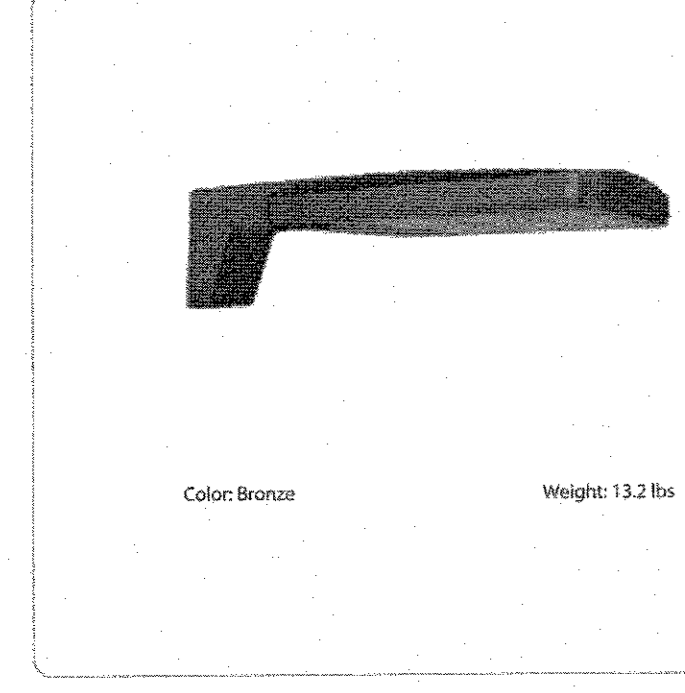
Project: _____ Type: _____

Prepared By: _____ Date: _____

Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze Weight: 105.8 lbs

ALEDSTY



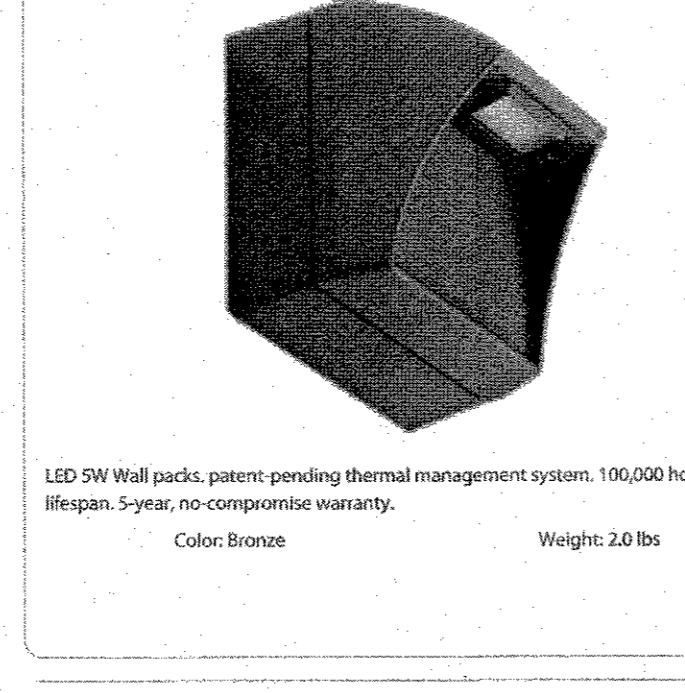
Project: _____ Type: _____

Prepared By: _____ Date: _____

Driver Info	LED Info
Type: Constant Current	Watts: 80W
120V 0.67A	Color Temp: 3000K (Warm)
208V 0.40A	Color: 82 CR
240V 0.34A	Accuracy: 82 CR
277V 0.30A	L70 LifeSpan: 100,000 Hours
Input Watts: 79.8/56.2/39.8W	Lumens: 10,433/7,710/5,608 lm
	Efficacy: 130.7/137.2/140.9 lm/W

Color: Bronze Weight: 13.2 lbs

WPLEDSY



Project: _____ Type: _____

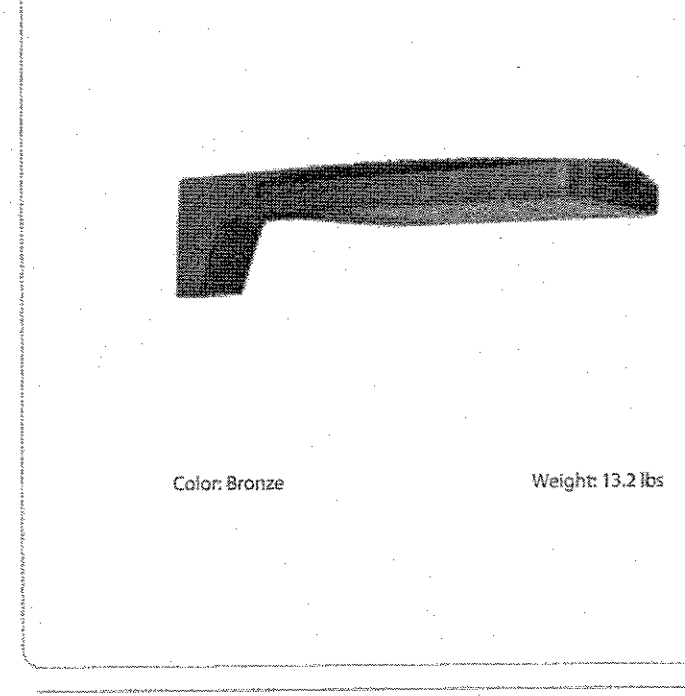
Prepared By: _____ Date: _____

Driver Info	LED Info
Type: Constant Current	Watts: 5W
120V 0.18A	Color Temp: 3000K (Warm)
208V 0.18A	Color Accuracy: 88 CR
240V 0.18A	L70 LifeSpan: 100,000 Hours
277V N/A	Lumens: 128 lm
Input Watts: 5.3W	Efficacy: 24.2 lm/W

LED SW Wall pack, patent pending thermal management system, 100,000 hour L70 lifespan, 5-year, no-compromise warranty.

Color: Bronze Weight: 2.0 lbs

ALEDSTY



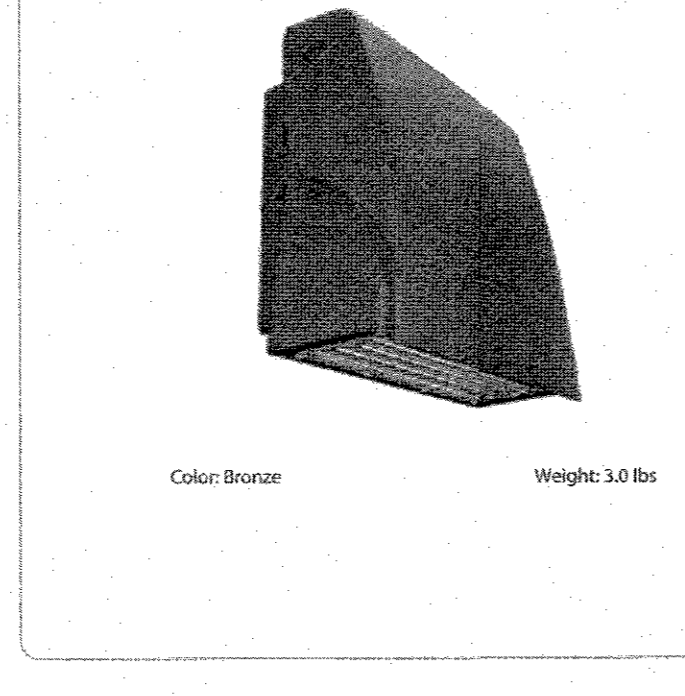
Project: _____ Type: _____

Prepared By: _____ Date: _____

Driver Info	LED Info
Type: Constant Current	Watts: 80W
120V 0.67A	Color Temp: 3000K (Warm)
208V 0.40A	Color: 82 CR
240V 0.34A	Accuracy: 82 CR
277V 0.30A	L70 LifeSpan: 100,000 Hours
Input Watts: 81.1/57.2/40.4W	Lumens: 10,172/7,517/5,468 lm
	Efficacy: 125.4/131.4/133.3 lm/W

Color: Bronze Weight: 13.2 lbs

SLIM17FA15ADJ

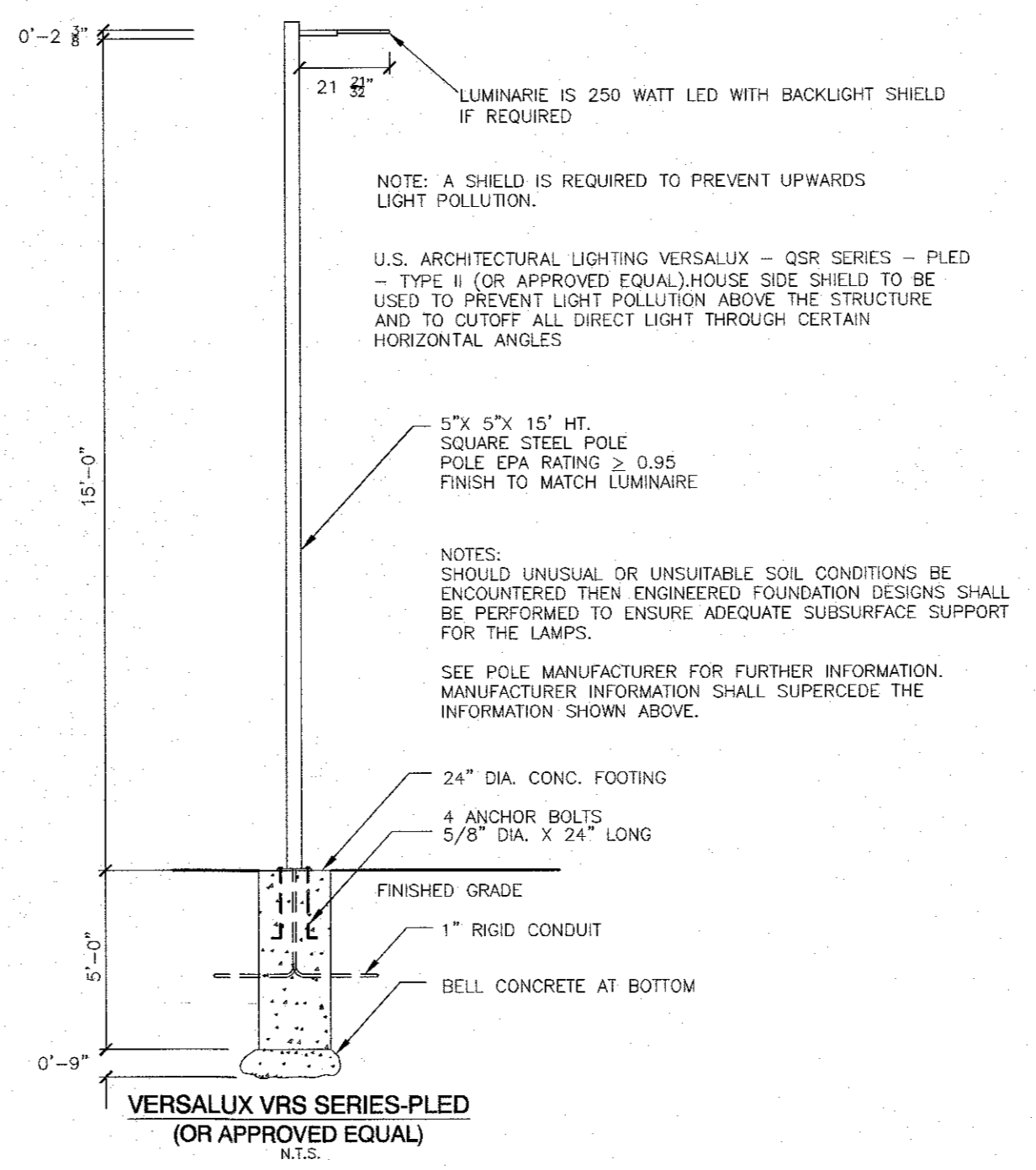


Project: _____ Type: _____

Prepared By: _____ Date: _____

Driver Info	LED Info
Type: Constant Current	Watts: 15W
120V 0.13A	Color Temp: 3000K/4000K/5000K
208V 0.07A	Color Accuracy: 70 CR
240V 0.06A	L70 LifeSpan: 100,000 Hours
277V 0.05A	Lumens: 1761/1504/1852 lm
Input Watts: 14.2/14/14.2W	Efficacy: 124/136.2/130.3 lm/W

Color: Bronze Weight: 3.0 lbs



THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERNATE ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER WHOSE SIGNATURE AND SEAL ARE MADE. THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYE EDUCATION LAW SECTION 7202-2.2)

STATE OF NEW YORK
JOHN R. ATZL
N.Y.S. P.E. LIC. NO. 89066

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP REQUIRING A LICENSED LAND SURVEYOR'S EMPLOYED SEAL IS A VIOLATION OF SECTION 7202, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMPLOYED SEAL AND THE LAND SURVEYOR'S SIGNATURE AND SEAL SHALL BE CONSIDERED TRUE COPIES.

NO INFORMATION INDICATED HERE ON DRAWING SHALL BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH THE SURVEY WAS PREPARED IN ACCORDANCE WITH THE SURVEYING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HERRON LAND SURVEYORS ASSOCIATION. SUCH CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS.

STATE OF NEW YORK
JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 60228

8 12-17-24 PER VILLAGE ENGINEER

7 9-23-24 RESURVEY & PER PB MTG 8-6-24

6 4-12-24 FOR PB SUBMISSION

5 11-15-23 PER TOWN DPW & NYS DOT COMMENTS

4 4-18-23 NOTE ADDITION TWO STORIES

3 3-30-23 WETLAND BUFFER & RESERVE PARKING

2 2-15-23 ADD TREE LINES, DIST. TO ADJ. DWLGs.

1 2-6-23 REVISE ADDITION & PARKING

REVISION DATE DESCRIPTION

ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS

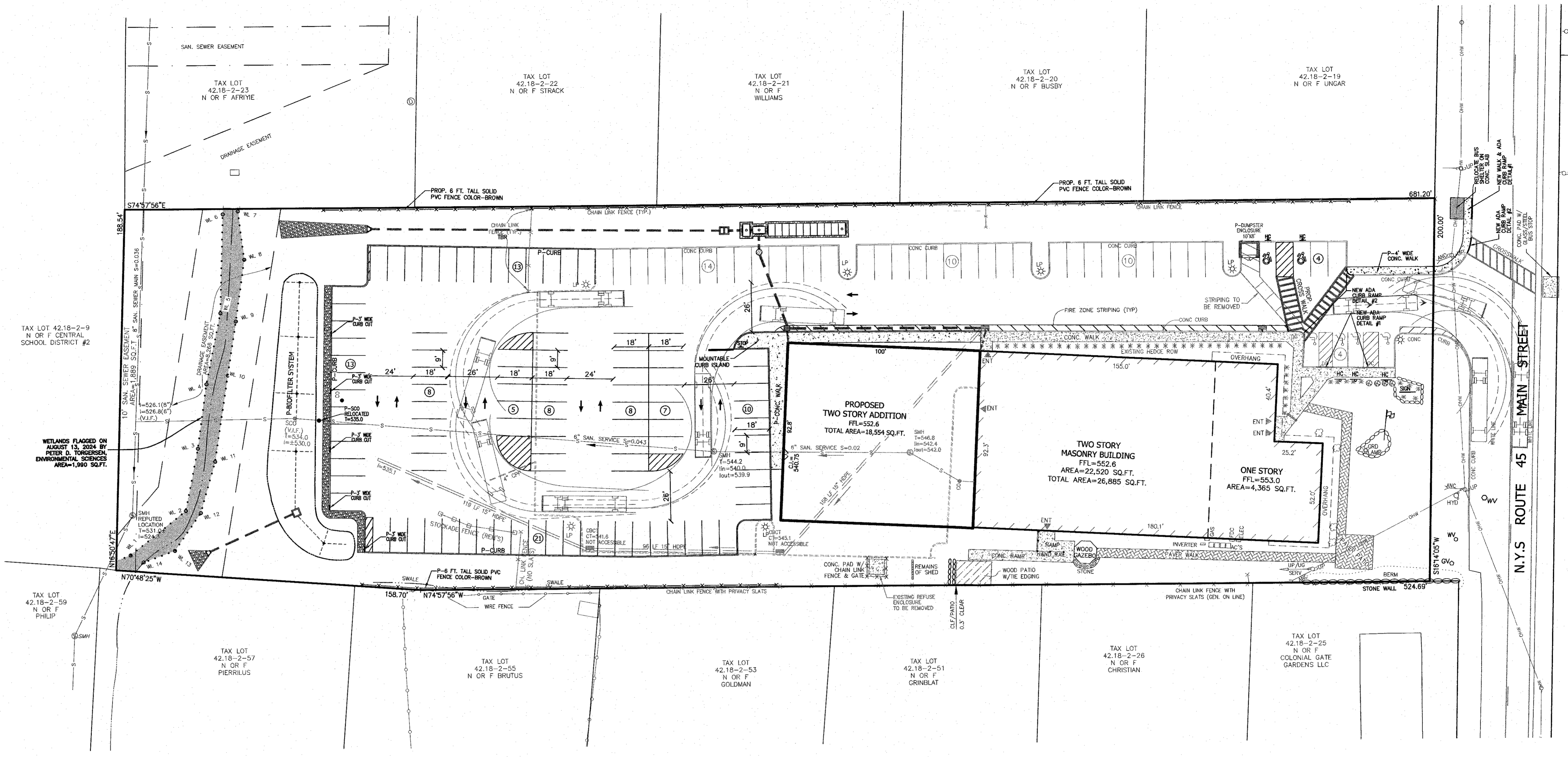
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.anzny.com

PROJECT: **HAMASPIK CHOICE**
F/K/A ILLINOIS PROPERTIES 26 LLC

VILLAGE OF NEW HEMPSTEAD
ROCKLAND COUNTY, NEW YORK

TITLE: **LIGHTING PLAN**

DRAWN BY: LF CHECKED BY: JRA
DATE: OCTOBER 31, 2022 SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030 DRAWING NO: 8



TAX LOT 42.18-2-9
N OR F CENTRAL
SCHOOL DISTRICT #2

WETLANDS FLAGGED ON
AUGUST 13, 2024 BY
PETER D. TOMPKINS
ENVIRONMENTAL SCIENCES
AREA=1,990 SQ.FT.

TAX LOT 42.18-2-59
N OR F PHILIP

TAX LOT 42.18-2-57
N OR F PIERRILUS

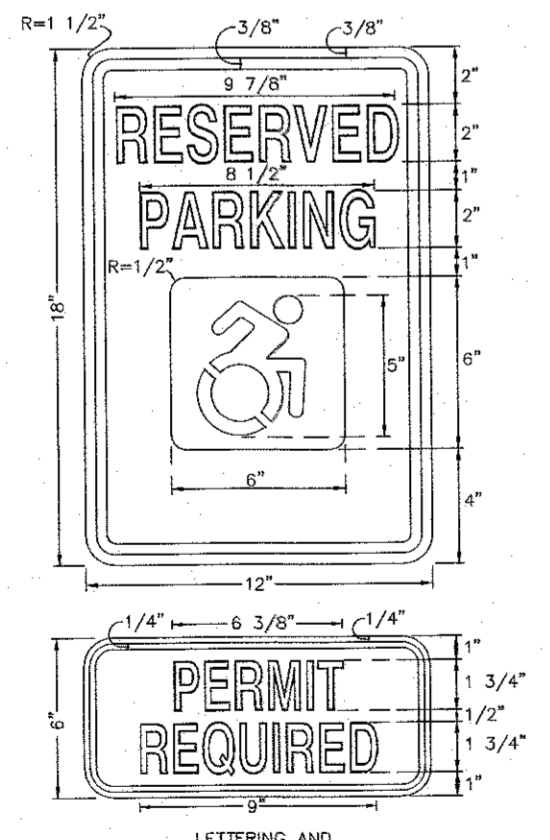
TAX LOT 42.18-2-55
N OR F BRUTUS

TAX LOT 42.18-2-53
N OR F GOLDMAN

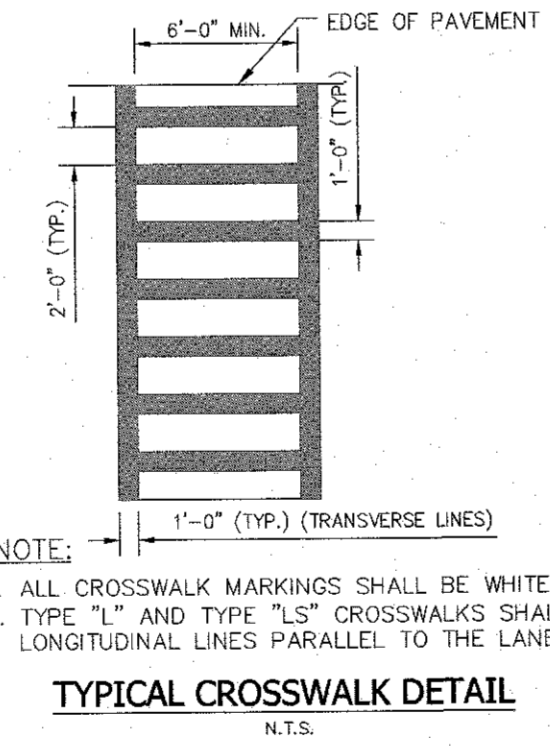
TAX LOT 42.18-2-51
N OR F GRINBLAT

TAX LOT 42.18-2-26
N OR F CHRISTIAN

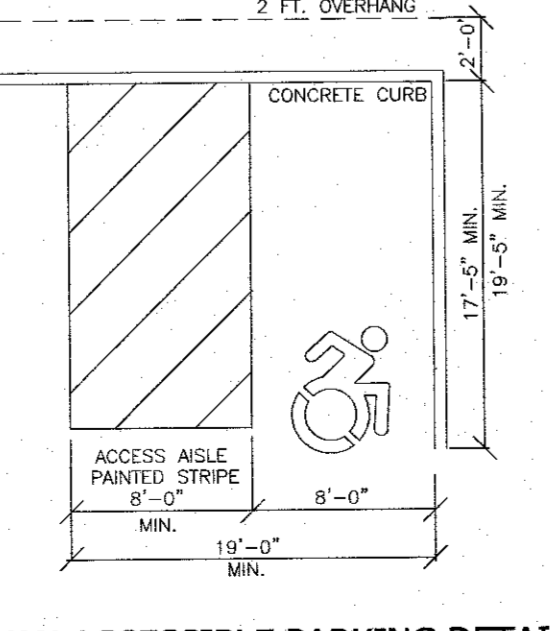
TAX LOT 42.18-2-25
N OR F COLONIAL GATE
GARDENS LLC



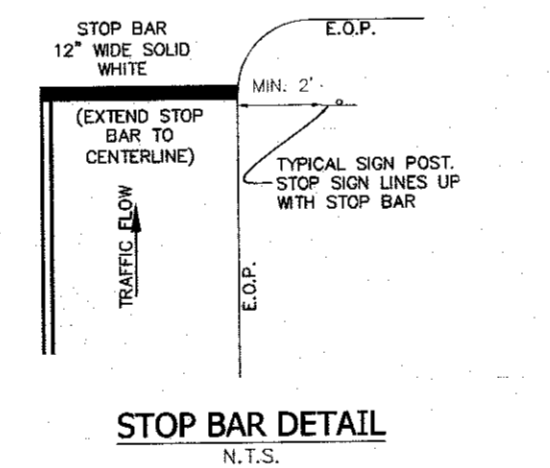
SIGN FOR ACCESSIBLE PARKING
N.T.S.



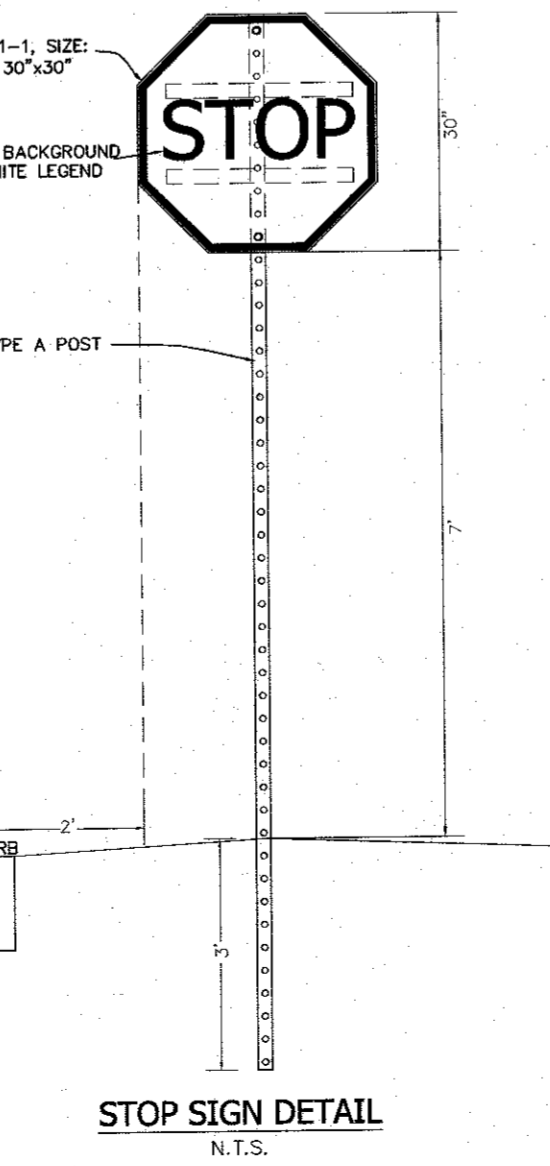
TYPICAL CROSSWALK DETAIL
N.T.S.



VAN ACCESSIBLE PARKING DETAIL
N.T.S.



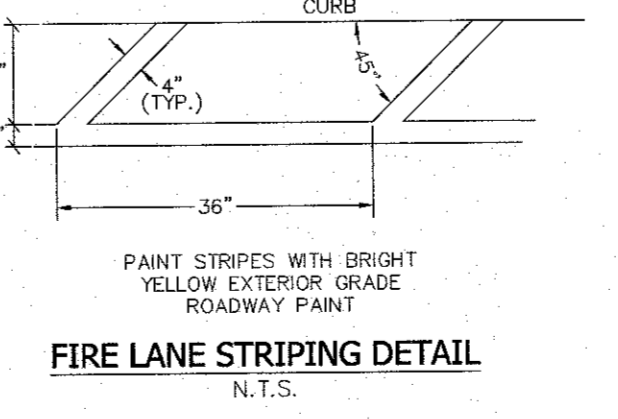
STOP BAR DETAIL
N.T.S.



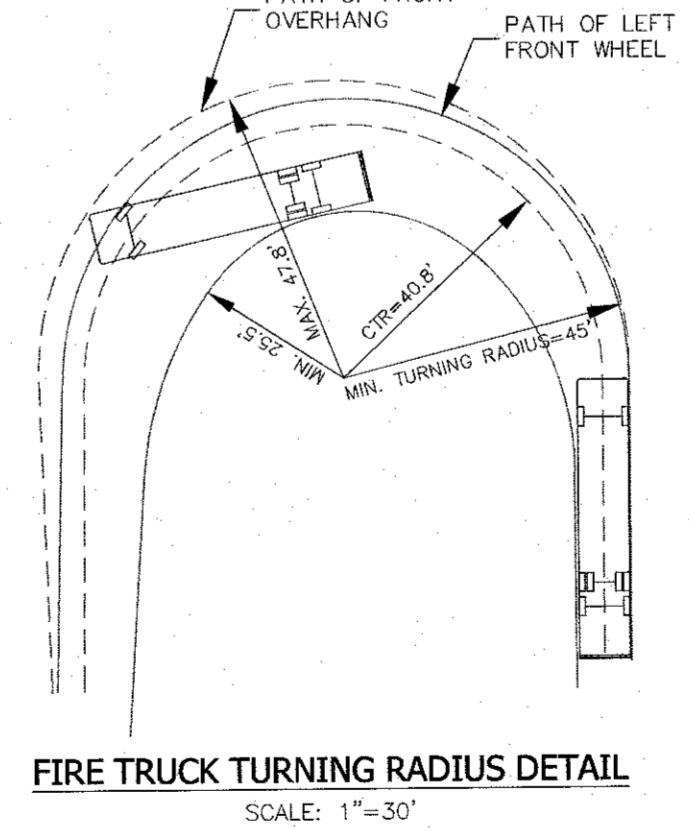
STOP SIGN DETAIL
N.T.S.



SIGN FOR FIRE LANES
N.T.S.



FIRE LANE STRIPING DETAIL
N.T.S.



FIRE TRUCK TURNING RADIUS DETAIL
SCALE: 1"=30'

P:\DRAWINGS\5030\5030 SITE PLAN & TEST HOLE 12-17-24.DWG

- LEGEND**
- 2' --- EXISTING 2' CONTOUR
 - 10' --- EXISTING 10' CONTOUR
 - 100' --- EXISTING 100' CONTOUR
 - 100' --- EXISTING WATER MAIN
 - 100' --- EXISTING FIRE HYDRANT
 - 100' --- EXISTING GAS LINE
 - 100' --- EXISTING CATCH BASIN
 - 100' --- EXISTING DRAINAGE MANHOLE
 - 100' --- EXISTING STORM DRAIN LINE
 - 100' --- EXISTING SEWER MANHOLE
 - 100' --- EXISTING SEWER LINE
 - 100' --- EXISTING SPOT ELEVATION
 - 100' --- EXISTING SIGN
 - 100' --- EXISTING LIGHT POLE
 - 100' --- EXISTING UTILITY POLE
 - 100' --- EXISTING WATER VALVE
 - 100' --- EXISTING GAS VALVE
 - 100' --- EXISTING CHAIN LINK FENCE
 - 100' --- EXISTING STONE WALL

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP, REGARDING A LICENSED LAND SURVEYOR'S EMPLOYED SEAL, IS A VIOLATION OF SECTION 2005, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL TRACINGS OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMPLOYED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

NOTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMPLOYED SEAL IS A VIOLATION OF SECTION 2005, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON, INCLUDING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LAND SURVEYOR, OR PROFESSIONAL ENGINEER, ARCHITECT, LAND SURVEYOR, FROM PREPARING, SEALING, DATING AND DESCRIBING THE FULL EXTENT OF THE ALTIORATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS (NY'S EDUCATION LAW SECTION 2005-2)

STATE OF NEW YORK
RYAN A. NASHNER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
JOHN R. ATZL, P.E.
N.Y.S. P.E. LIC. NO. 80228

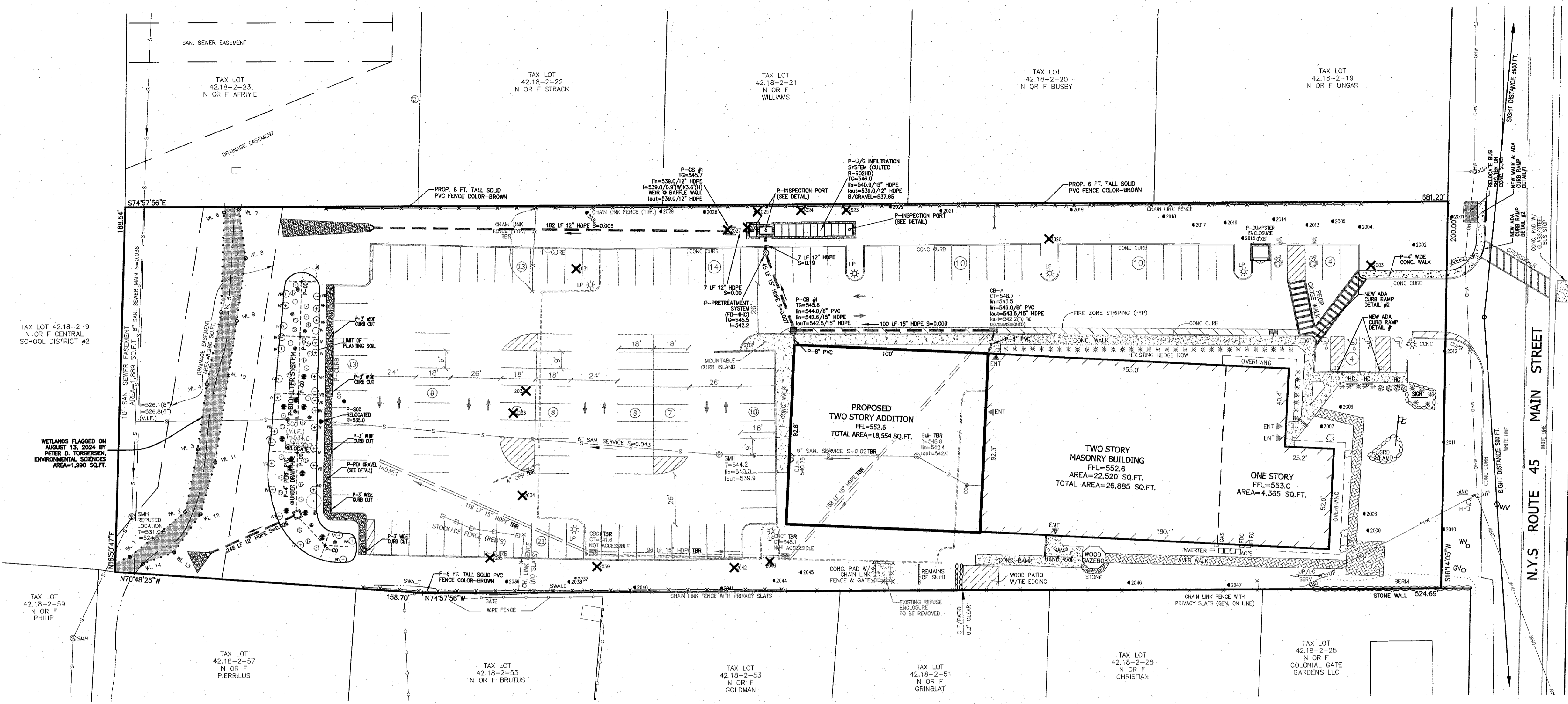
REVISION	DATE	DESCRIPTION
8	12-17-24	PER VILLAGE ENGINEER
7	9-23-24	RESURVEY & PER PB MTG 8-6-24
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYSOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGS.
1	2-6-23	REVISE ADDITION & PARKING

AN&Z
ATZL, NASHNER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT:
HAMASPIK CHOICE
F/K/A ILLINOIS PROPERTIES 26 LLC
VILLAGE OF NEW HEMPSTEAD
ROCKLAND COUNTY, NEW YORK

TITLE:
FIRE TRUCK RADIUS PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 9



LEGEND

---	EXISTING 2' CONTOUR	---	PROPOSED 2' CONTOUR
---	EXISTING 10' CONTOUR	---	PROPOSED 10' CONTOUR
---	EXISTING WATER MAIN	---	PROPOSED WATER SERVICE
---	EXISTING FIRE HYDRANT	---	PROPOSED WATER VALVE
---	EXISTING GAS LINE	---	PROPOSED FIRE HYDRANT
---	EXISTING CATCH BASIN	---	PROPOSED GAS SERVICE
---	EXISTING DRAINAGE MANHOLE	---	PROPOSED GAS VALVE
---	EXISTING STORM DRAIN LINE	---	PROPOSED CATCH BASIN
---	EXISTING SEWER MANHOLE	---	PROPOSED STORM DRAIN LINE
---	EXISTING SEWER LINE	---	PROPOSED SEWER CLEANOUT
---	EXISTING SPOT ELEVATION	---	PROPOSED SEWER HOUSE CONNECTION
---	EXISTING SIGN	---	PROPOSED SPOT ELEVATION
---	EXISTING LIGHT POLE	---	PROPOSED WATER SERVICE
---	EXISTING UTILITY POLE	---	PROPOSED GAS SERVICE
---	EXISTING WATER VALVE	---	PROPOSED UNDERGROUND ELECTRIC LINE
---	EXISTING GAS VALVE	---	PROPOSED ROOF DRAIN
---	EXISTING CHAIN LINK FENCE	---	PROPOSED WATERSHED
---	EXISTING STONEWALL		

TREE LIST

NO.	SIZE	TYPE	CONDITION
2001	15"	LINDEN	GOOD
2002	15"	PINE	GOOD
2003	14"	LINDEN	GOOD
2004	10"	PINE	GOOD
2005	9"	PINE	GOOD
2006	9"	BERRY	GOOD
2007	11"	BERRY	GOOD
2008	8"	BERRY	GOOD
2009	9"	BERRY	GOOD
2010	13"	LINDEN	GOOD
2011	17"	LINDEN	GOOD
2012	15"	LINDEN	GOOD
2013	11"	PINE	GOOD
2014	10"	PINE	GOOD
2015	15"	OAK	GOOD
2016	8"	PINE	GOOD
2017	14"	PINE	GOOD
2018	10"	PINE	POOR
2019	23"	OAK	GOOD
2020	13"	OAK	POOR
2021	24"	PINE	POOR
2022	14"	ELM	POOR
2023	26"	PINE	GOOD
2024	16"	PINE	POOR
2025	14"	ELM	POOR
2026	8"	PINE	POOR
2027	10"	PINE	POOR
2028	14"	PINE	POOR
2029	18"	PINE	POOR
2030	28"	PINE	POOR
2031	16"	MAPLE	GOOD
2032	12"	TWIN MAPLE	GOOD
2033	12"	QUAD POPLAR	POOR
2034	10"	MAPLE	POOR
2035	12"	LOGAN	POOR
2036	14"	MAPLE	POOR
2037	48"	MAPLE	GOOD
2038	8"	MAPLE	POOR
2039	14"	ELM	POOR
2040	10"	HICKEY	GOOD
2041	19"	MAPLE	GOOD
2042	13"	MAPLE	GOOD
2043	10"	MAPLE	GOOD
2044	35"	MAPLE	GOOD
2045	10"	PINE	GOOD
2046	14"	MAPLE	GOOD
2047	17"	MAPLE	GOOD

TREE LEGEND

○	DENOTES EXISTING TREE TO REMAIN
✕	DENOTES EXISTING TREE TO BE REMOVED
⊙	DENOTES EXISTING TREE TO BE PROTECTED

REVISION	DATE	DESCRIPTION
8	12-17-24	PER VILLAGE ENGINEER
7	9-23-24	RESURVEY & PER PB MTG 8-6-24
6	4-12-24	FOR PB SUBMISSION
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PROJECT: **HAMASPIK CHOICE**
F/K/A ILLINOIS PROPERTIES 26 LLC

VILLAGE OF NEW HEMPSTEAD
 ROCKLAND COUNTY, NEW YORK

TITLE: **TREE REMOVAL PLAN**

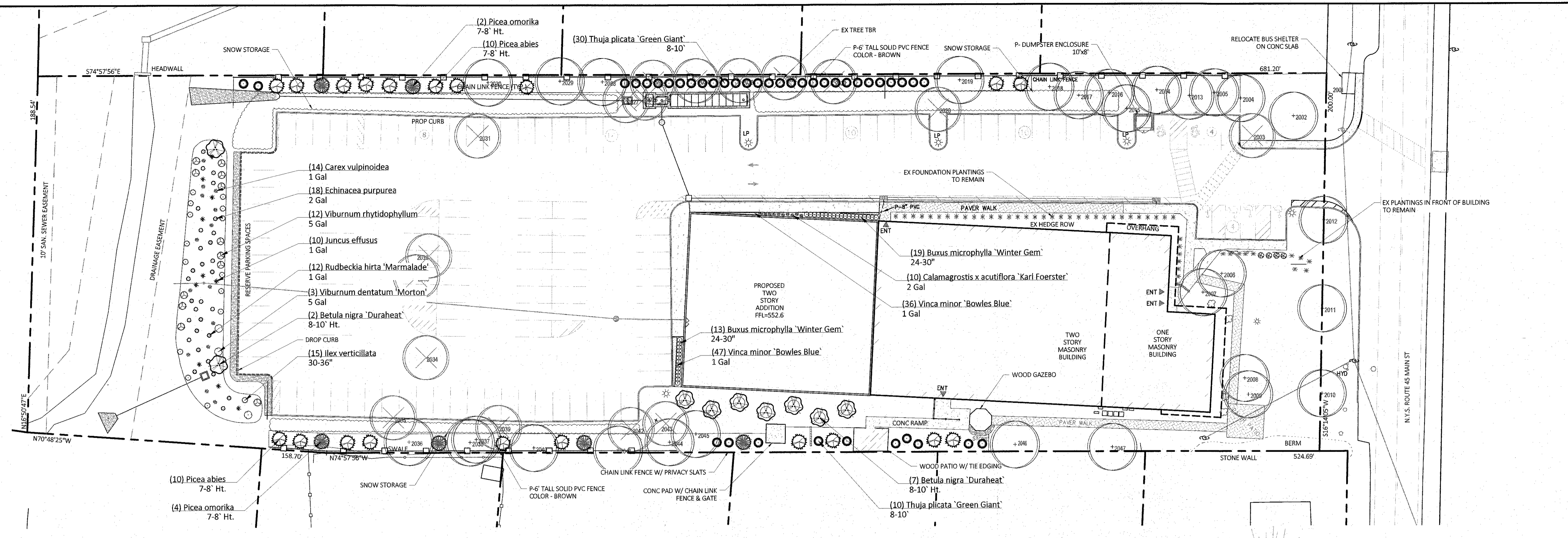
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DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 10

STATE OF NEW YORK
 RYAN A. NASHER, P.E.
 N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
 JOHN R. ATZL
 N.Y.S. LAND SURV. NO. 50228

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 2003, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.
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P:\DRAWINGS\5030\5030 SITE PLAN & TEST HOLE 12.17.22.DWG



TREE LIST

NO.	SIZE	TYPE	CONDITION
2001	15"	LINDEN	GOOD
2002	15"	PINE	GOOD
2003	14"	LINDEN	GOOD
2004	10"	PINE	GOOD
2005	9"	PINE	GOOD
2006	9"	BERRY	GOOD
2007	11"	BERRY	GOOD
2008	8"	BERRY	GOOD
2009	9"	BERRY	GOOD
2010	13"	LINDEN	GOOD
2011	17"	LINDEN	GOOD
2012	15"	LINDEN	GOOD
2013	11"	PINE	GOOD
2014	10"	PINE	GOOD
2015	15"	OAK	GOOD
2016	8"	PINE	GOOD
2017	14"	PINE	GOOD
2018	10"	PINE	POOR
2019	23"	OAK	GOOD
2020	13"	OAK	GOOD
2021	24"	PINE	POOR
2022	14"	ELM	POOR
2023	26"	PINE	GOOD
2024	46"	PINE	POOR
2025	14"	ELM	POOR
2026	8"	PINE	POOR
2027	10"	PINE	POOR
2028	14"	PINE	POOR
2029	18"	PINE	POOR
2030	28"	PINE	POOR
2031	10"	MAPLE	GOOD
2032	12"	TWIN MAPLE	GOOD
2033	12"	QUAD-POPLAR	POOR
2034	10"	MAPLE	POOR
2035	10"	LOGUSPT	POOR
2036	14"	MAPLE	POOR
2037	48"	MAPLE	GOOD
2038	8"	MAPLE	POOR
2039	14"	ELM	POOR
2040	10"	HICKY	GOOD
2041	19"	MAPLE	GOOD
2042	13"	MAPLE	GOOD
2043	10"	MAPLE	GOOD
2044	35"	MAPLE	GOOD
2045	10"	PINE	GOOD
2046	14"	MAPLE	GOOD
2047	17"	MAPLE	GOOD

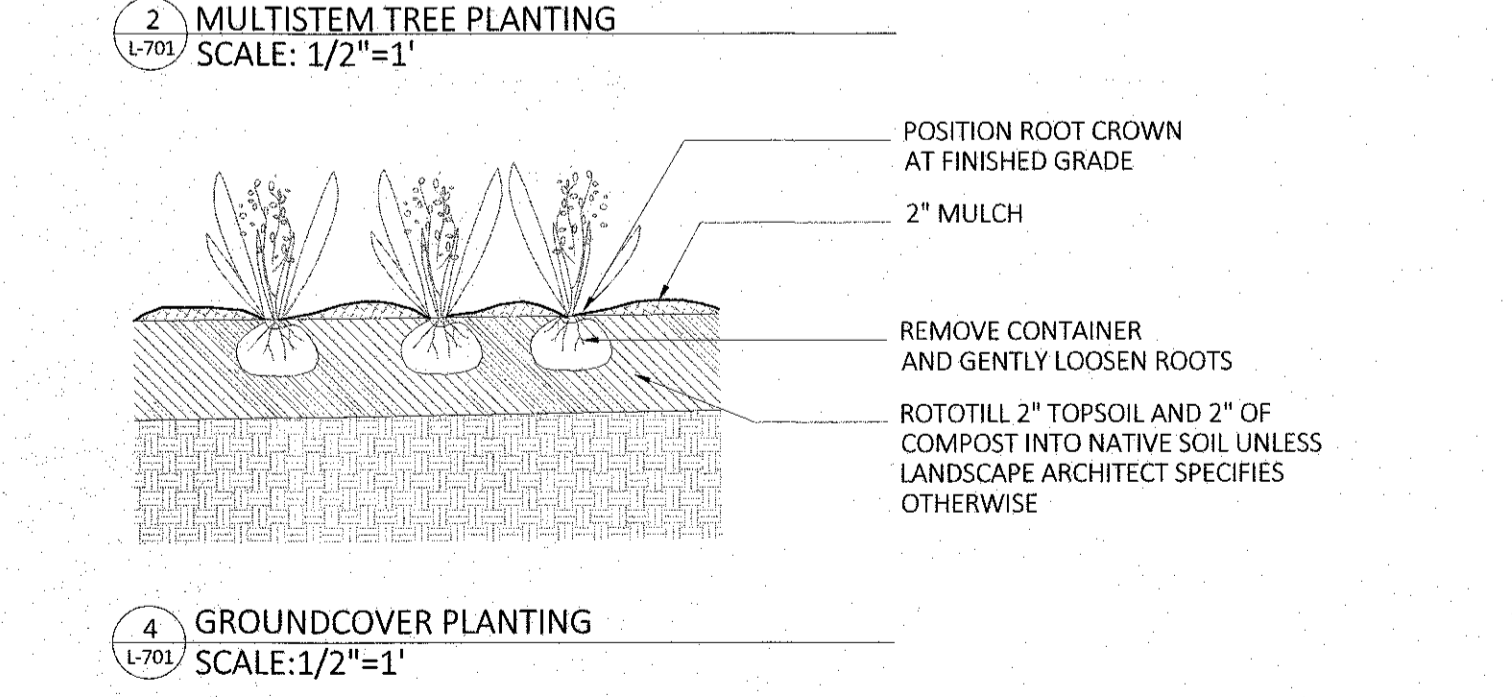
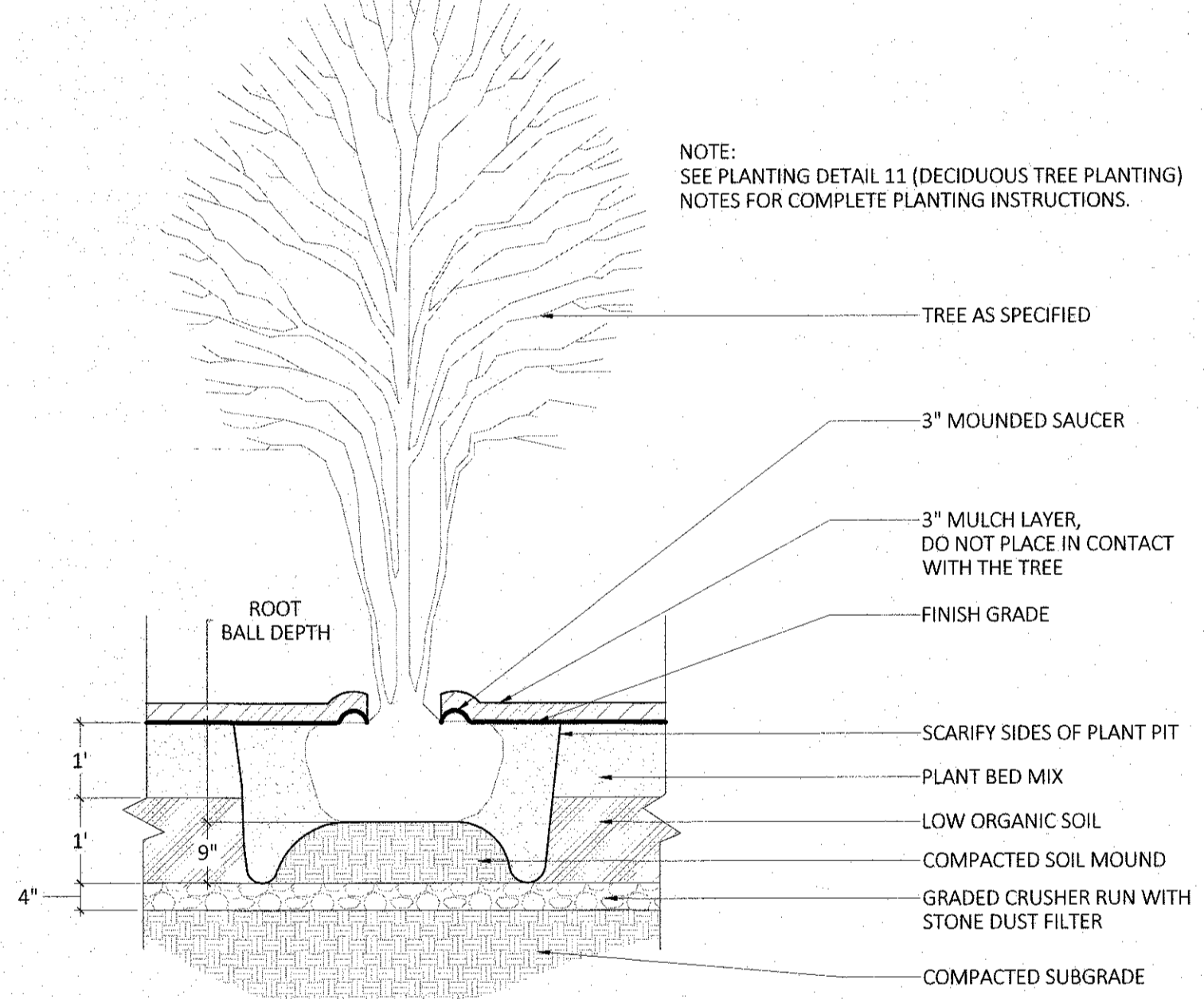
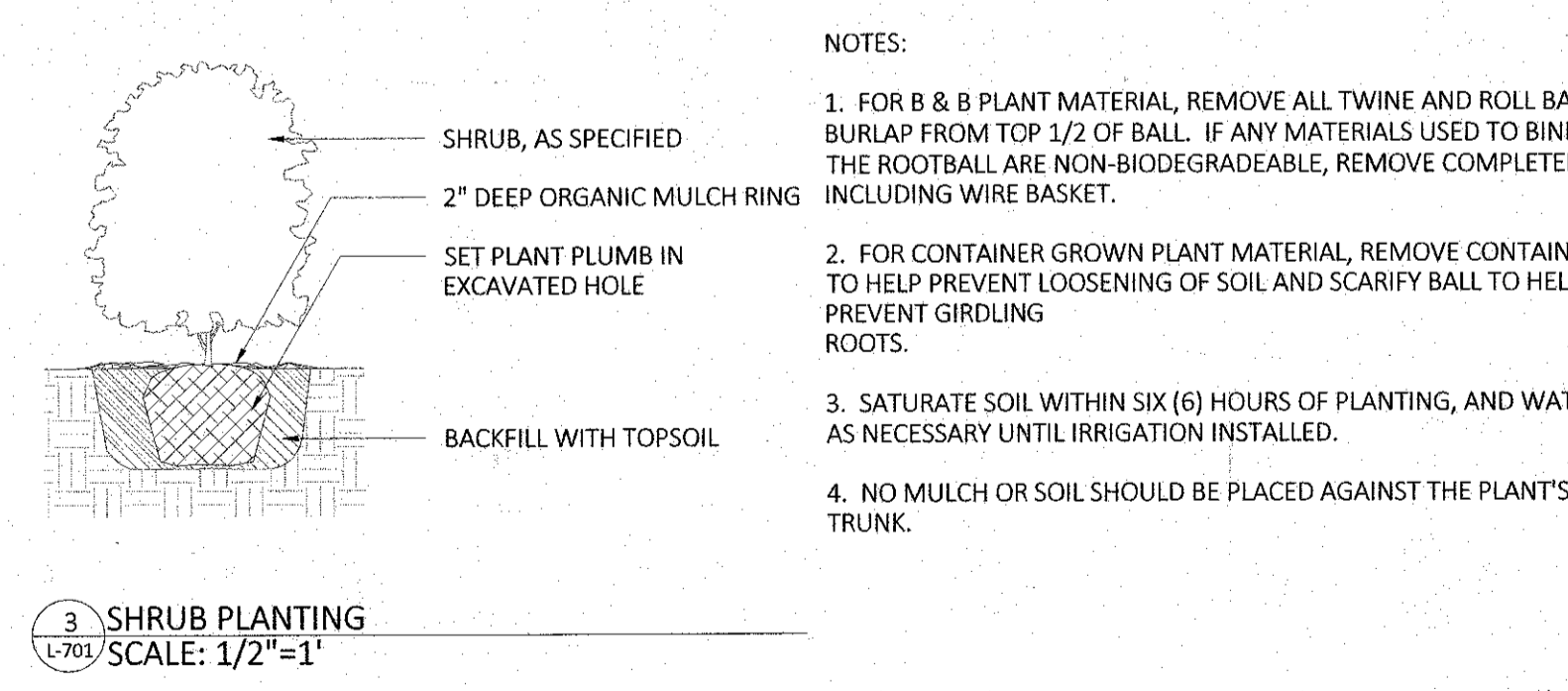
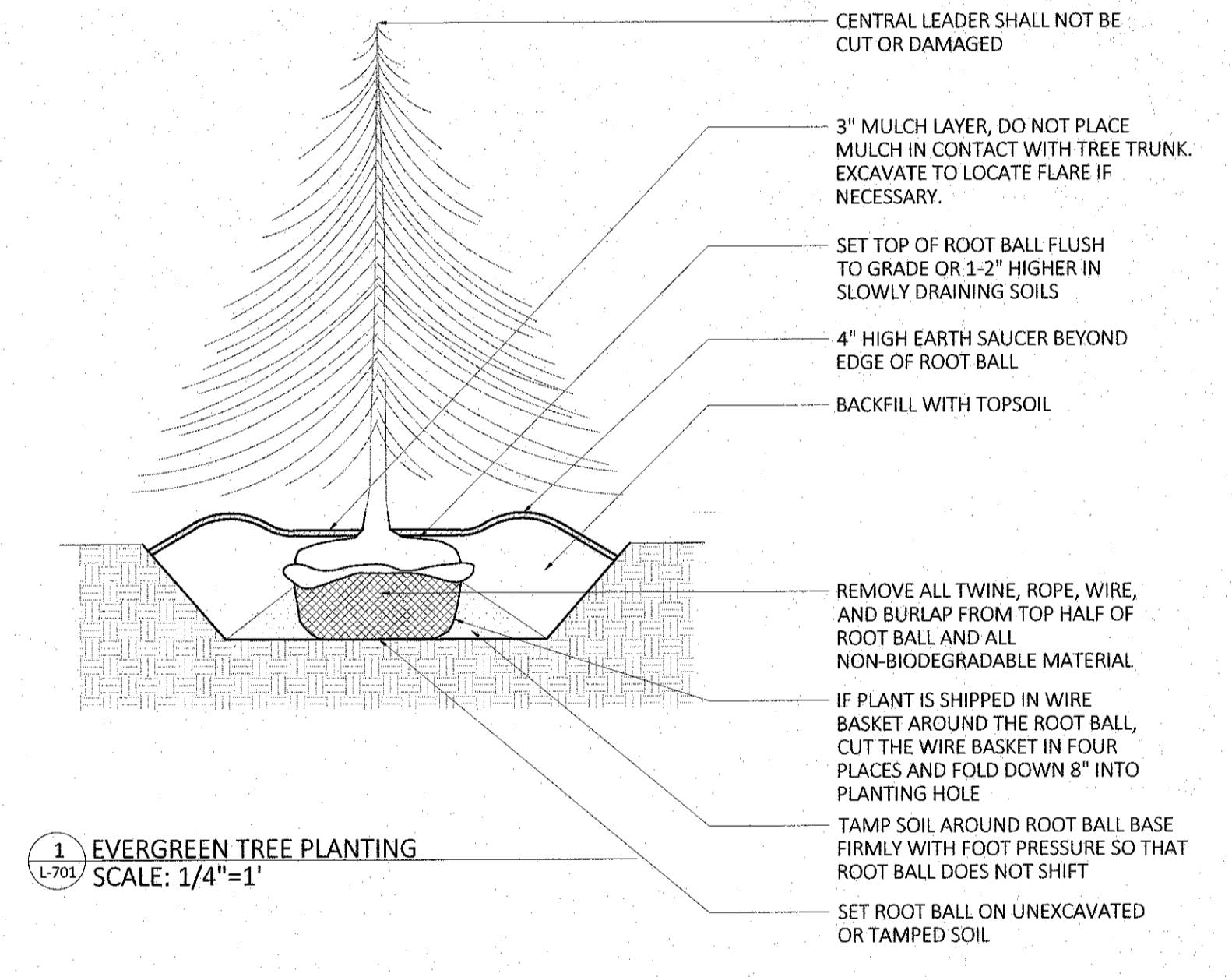
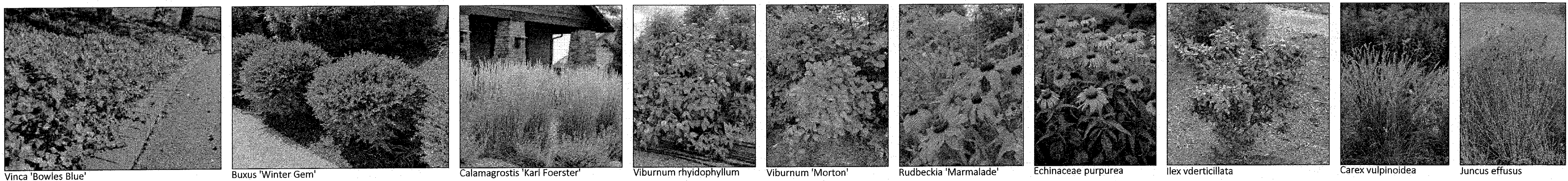
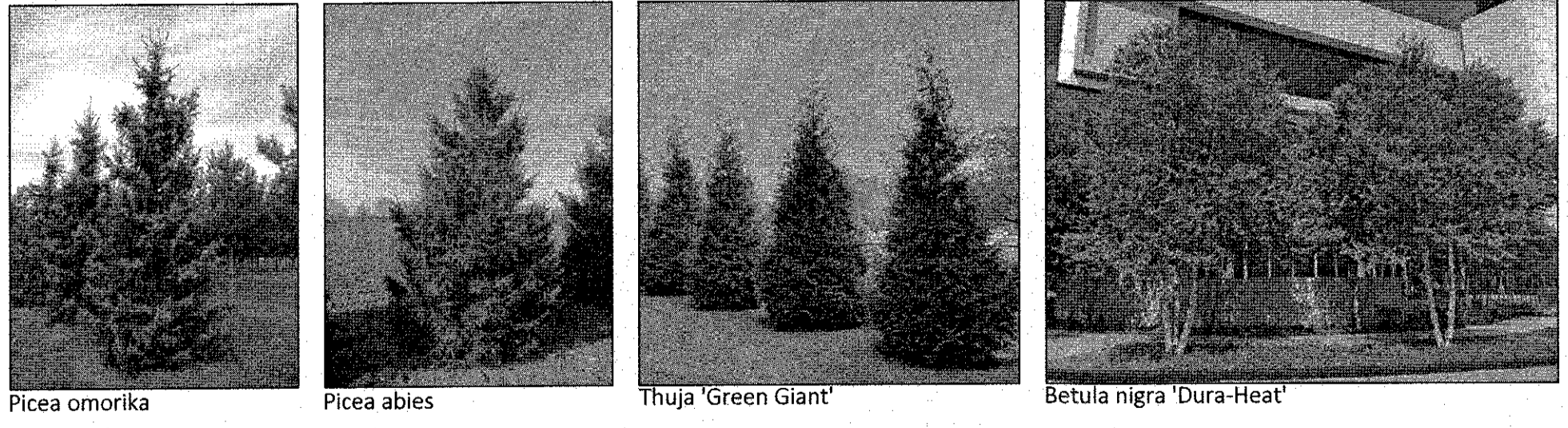
PLANTING NOTES

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LA PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST THREE YEARS FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT, IRRIGATE & CARE FOR STOCK NOT PLANTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60 (REV. 1980) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL INJURED ROOTS SHALL BE PRUNED UTILIZING CLEAN, SHARP TOOLS TO MAKE CLEAN ENDS BEFORE PLANTING.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 2" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
- ALL DISTURBED AREAS TO BE TREATED WITH 3" TOP SOIL & SEEDS IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS.

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
	9	Betula nigra 'Duraheat'	Duraheat River Birch	8-10' Ht.
	20	Picea abies	Norway Spruce	7-8' Ht.
	6	Picea omorika	Serbian Spruce	7-8' Ht.
	40	Thuja plicata 'Green Giant'	Western Red Cedar	8-10'
SHRUBS				
	32	Buxus microphylla 'Winter Gem'	Globe Winter Gem Boxwood	24-30"
	15	Ilex verticillata	Winterberry	30-36"
	3	Viburnum dentatum 'Morton'	Northern Burgundy™ Arrowwood Viburnum	5 Gal
	12	Viburnum rhytidophyllum	Leatherleaf Viburnum	5 Gal
GRASSES				
	10	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	2 Gal
	14	Carex vulpinoidea	Fox Sedge	1 Gal
	10	Juncus effusus	Soft Rush	1 Gal
PERENNIALS				
	18	Echinacea purpurea	Purple Coneflower	2 Gal
	12	Rudbeckia hirta 'Marmalade'	Marmalade Black-eyed Susan	1 Gal
GROUND COVERS				
	83	Vinca minor 'Bowles Blue'	Dwarf Periwinkle	1 Gal 12" o.c.

PLANT IMAGES



TO SCALE WHEN PLOTTED ON 24x36
PROGRESS SET NOT FOR CONSTRUCTION