

- NOTES:**
- THE TAX MAP DESIGNATION FOR THE PARCEL THAT IS THE SUBJECT OF THIS SITE PLAN IS SECTION 42.18, BLOCK 2, AND LOT 24, AS SHOWN ON THE VILLAGE OF NEW HEMPSTEAD TAX MAP.
 - AREA OF TRACT: 135,511 SQ.FT.
 - ZONE: NCD
 - PROPOSED USE: PROFESSIONAL OFFICE
 - RECORD OWNER: ILLINOIS PROPERTIES 26 LLC
51 FOREST ROAD, UNIT 316-24
MONROE, NY 10950
 - APPLICANT: ILLINOIS PROPERTIES 26 LLC
51 FOREST ROAD, UNIT 316-24
MONROE, NY 10950
 - SCHOOL DISTRICT: EAST RAMAPO CENTRAL
 - FIRE DISTRICT: MOLESTON
 - WATER SUPPLY BY: VEOLIA WATER NEW YORK, INC.
 - DATE: NAVD
 - BEFORE ANY WORK SHALL BE AUTHORIZED, A PRE-CONSTRUCTION MEETING (PCM) SHALL BE HELD ON-SITE WITH THE VILLAGE ENGINEER. AT SUCH TIME A FULL CONSTRUCTION SCHEDULE WILL BE REQUIRED AND STRICTLY ENFORCED. ANY CHANGES OR AMENDMENTS TO THE SCHEDULE MUST BE FILED WITH THE VILLAGE ENGINEER AS DIRECTED DURING THE PCM.
 - ALL UTILITIES UNDERGROUND, ELECTRIC SERVICE SHALL BE IN CONDUIT OF NOT LESS THAN TWO-INCH DIAMETER.
 - THERE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE, EXCEPT AS SHOWN ON THIS PLAN, SUBJECT TO THE FINDINGS OF A COMPLETE AND UP-TO-DATE TITLE SEARCH.
 - NO SIGNIFICANT OTHER THAN THOSE SHOWN ON THESE DRAWINGS ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE PLANNING BOARD. TENANTS ARE TO BE ADVISED OF THIS.
 - ALL CONSTRUCTION SHALL ADHERE TO ALL APPLICABLE NEW YORK STATE BUILDING CODES, AND CURRENT VILLAGE OF NEW HEMPSTEAD SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
 - ALL DRAWINGS AND PLANS, REQUIRED BY SUBSECTION B(1) OF THIS SECTION SHALL BE SIGNED AND SEALED/STAMPED BY A NEW-YORK-STATE-LICENSED PROFESSIONAL ENGINEER, REGISTERED ARCHITECT OR LAND SURVEYOR, THE PROFESSION OF WHICH LICENSED SIGNATORY SHALL BE DETERMINED BY THE VILLAGE ENGINEER. ADDITIONALLY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN AS-BUILT LANDSCAPING DRAWING SHALL BE SUBMITTED WHICH IS CERTIFIED BY A LANDSCAPE ARCHITECT LICENSED TO PRACTICE IN THE STATE OF NEW YORK. SAID CERTIFIED LANDSCAPING DRAWING SHALL INDICATE DEGREE OF COMPLETION OF SAID LANDSCAPING IMPROVEMENTS IN ACCORDANCE WITH THE APPROVED SITE PLAN. SAID AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE BUILDING INSPECTOR, VILLAGE PLANNER AND VILLAGE ENGINEER FOR APPROVAL.
 - NO LAND DISTURBANCE ACTIVITIES WILL BE PERMITTED UNTIL ALL EROSION CONTROL MEASURES REQUIRED AS PART OF THE EROSION CONTROL PLAN ARE INSTALLED TO THE SATISFACTION OF THE VILLAGE ENGINEER.
 - ALL TRAFFIC SIGNS SHALL CONFORM TO NEW YORK STATE DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - IF ANY EXISTING TREES THAT ARE DESIGNATED TO REMAIN ON THESE PLANS ARE DESTROYED DURING CONSTRUCTION, OR OTHERWISE, THEY SHALL BE REPLACED IN KIND WITH A MINIMUM OF 1.5 TIMES THE CALIPER OF THE TREE REMOVED. MINIMUM CALIPER OF EACH INDIVIDUAL REPLACEMENT TREE SHALL BE FOUR INCHES.
 - INSTALLATION OF ALL UTILITIES AND SITE WORK SHALL BE IN CONFORMANCE WITH OSHA REGULATIONS.
 - RETAINING WALLS OVER FOUR FEET IN HEIGHT SHALL BE DESIGNED AND INSPECTED BY A NEW-YORK-STATE-LICENSED PROFESSIONAL ENGINEER DURING INSTALLATION AND THE ADEQUACY OF THE RETAINING WALL SHALL BE CERTIFIED IN WRITING PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. WALLS HIGHER THAN FOUR FEET WILL ALSO REQUIRE A BARRIER FENCE ALONG THE TOP OF THE ENTIRE WALL.
 - IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR(S) TO PROTECT A PROPERTY SITE, AND ITS PERIMETER, UNDER DURING CONSTRUCTION IN ACCORDANCE WITH THE RELEVANT OSHA REGULATIONS, AS WELL AS THE CONTROLLING NEW YORK STATE AND LOCAL LAWS/REGULATIONS/CODES, AS DETERMINED BY THE VILLAGE'S ENGINEER, BUILDING INSPECTOR AND/OR THE GOVERNING VILLAGE BOARDS, IN ORDER TO MAINTAIN THE HEALTH AND SAFETY OF WORKERS AND THE GENERAL PUBLIC, AS WELL AS PREVENTING UNAUTHORIZED ACCESS. THE SAME NOT LIMITED TO REQUIRING A MINIMUM SIX-FOOT-HIGH TEMPORARY FENCE WITH A LOCKED GATE.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE TEMPORARY FENCING TO PROTECT ANY AREA WITH AN EXCAVATION EXCEEDING FOUR FEET IN DEPTH IF LEFT UNATTENDED OVERNIGHT.
 - IN THE EVENT OF UNPLANNED/UNSCHEDULED CONSTRUCTION INACTIVITY FOR A DURATION GREATER THAN 30 CONSECUTIVE CALENDAR DAYS WITHOUT WRITTEN APPROVAL FROM THE VILLAGE ENGINEER, CODE ENFORCEMENT OFFICER OR BUILDING INSPECTOR, THE BOND ESTABLISHED FOR THE PROJECT UPON SITE PLAN APPROVAL MAY BE FORFEITED TO THE VILLAGE FOR SITE RESTORATION ENHANCEMENT ACTIVITIES AND A STOP-WORK ORDER WILL BE ISSUED FOR THE PROJECT UNTIL SUCH TIME THAT THE AUTHORIZES WORK UNDER THE PREVIOUS APPROVAL AND A NEW BOND IS PROVIDED.
 - THE ZONING BOARD OF APPEALS OF THE VILLAGE OF NEW HEMPSTEAD, ON _____ AS CASE NUMBER _____ IN THE APPLICATION OF _____ GRANTED A VARIANCE(S) FOR _____
 - THE APPLICATIONS TO THE PLANNING BOARD, ZONING BOARD OF APPEALS AND BOARD OF TRUSTEES, OF THE VILLAGE OF NEW HEMPSTEAD, AS MAY BE APPLICABLE, SHALL BE REVIEWED IN COMPLIANCE WITH ARTICLE 12-B OF NEW YORK STATE GENERAL MUNICIPAL LAW.
 - THE UNDERSIGNED, OWNER AND/OR APPLICANT, AS A CONDITION OF APPROVAL OF THIS SITE PLAN, HEREBY AGREES TO COMPLETE THE WITHIN SITE DEVELOPMENT PLAN AS DRAWN AND ALL IMPROVEMENTS SHOWN THEREON. THE APPLICANT/OWNER IS AWARE THAT NO CHANGES IN THIS PLAN MAY BE MADE UNLESS APPROVED BY THE PLANNING BOARD.

BULK REQUIREMENTS:

ZONE NCD	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2 ACRES	126,998 SF/2,915 ACS. (NET)	126,998 SF/2,915 ACS. (NET)
MINIMUM LOT FRONTAGE	150 FT.	200 FT.	200 FT.
MINIMUM LOT WIDTH	150 FT.	200 FT.	200 FT.
MINIMUM FRONT YARD	75 FT.	56.6 FT.	56.6 FT.
MINIMUM SIDE YARD	50 FT.	20.6 FT.	29.5 FT. *
MINIMUM REAR YARD	100 FT.	98.1 FT.	92.6 FT. *
MAXIMUM FLOOR AREA RATIO	0.30	0.21	0.36
MAXIMUM IMPERVIOUS SURFACE RATIO	0.75	0.52	0.66
MAXIMUM BUILDING STORIES	2 STORIES	2 STORIES	2 STORIES
MAXIMUM BUILDING HEIGHT	35 FT.	35 FT.	35 FT.

ZONE CHANGE GRANTED BY THE VILLAGE BOARD ON OCTOBER 31, 2023
 * DENOTES VARIANCE REQUIRED
 VARIANCE REQUIRED BUILDING LARGER THAN 20,000 SQ.FT.
 PLANNING BOARD APPROVAL REQUIRED FOR WORK WITHIN 100 FT. WETLANDS BUFFER

LOT AREA CALCULATION:

GROSS LOT AREA	= 135,511 SQ.FT.
- 25% AREA OF SANITARY SEWER EASEMENT	= 472 SQ.FT.
- 75% AREA OF DRAINAGE EASEMENT	= 6,199 SQ.FT.
75% WETLAND AREA	= 1,842 SQ.FT.
NET LOT AREA	= 126,998 SQ.FT.

LOT COVERAGE CALCULATION:

EXISTING	PROPOSED
BUILDING	15,597 SQ.FT.
GAZEBO	9,277 SQ.FT.
CONCRETE WALK	112 SQ.FT.
PAVER WALK	2,682 SQ.FT.
MACADAM AREA	2,035 SQ.FT.
TOTAL	53,908 SQ.FT.
	83,611 SQ.FT.

PARKING:

1 SPACE/250 SQ.FT.

EXISTING:
 26,885 SQ.FT. / 250 SQ.FT. = 107.5 OR 108 SPACES REQUIRED
 113 SPACES PROVIDED

PROPOSED:
 26,885 SQ.FT.(EXISTING) + 18,554 SQ.FT.(ADDITION) = 45,439 SQ.FT.
 45,439 SQ.FT. / 250 SQ.FT. = 181.8 OR 182 SPACES REQUIRED
 139 SPACES PROVIDED
 VARIANCE FOR 43 SPACES REQUESTED

102 SPACES TO BE CONSTRUCTED
 37 SPACES TO BE HELD IN RESERVE

SITE ADDRESS:
 775 ROUTE 45 (NORTH MAIN STREET)
 SPRING VALLEY, NY 10977

DRAWING LIST

DRAWING No.	TITLE	ORIGIN DATE	REVISION DATE
DRAWING 1	- SITE PLAN	10-31-2022	04-12-2024
DRAWING 2	- EXISTING CONDITION PLAN	10-31-2022	04-12-2024
DRAWING 3	- AERIAL NEIGHBORHOOD PLAN	10-31-2022	04-12-2024
DRAWING 4	- GRADING PLAN	11-15-2023	04-12-2024
DRAWING 5	- EROSION & SEDIMENT CONTROL PLAN	11-15-2023	04-12-2024
DRAWING 6	- DRAINAGE DETAILS	04-12-2024	04-12-2024
DRAWING 7	- LIGHTING PLAN	11-15-2023	04-12-2024
DRAWING 8	- FIRE TRUCK RADIUS PLAN	11-15-2023	04-12-2024
DRAWING 9	- TREE REMOVAL PLAN	11-15-2023	04-12-2024
DRAWING L-701	- PLANTING PLAN	06-24-2024	

- LEGEND**
- 360 --- EXISTING 2' CONTOUR
 - 300 --- EXISTING 10' CONTOUR
 - --- EXISTING WATER MAIN
 - --- EXISTING FIRE HYDRANT
 - --- EXISTING GAS LINE
 - --- EXISTING CATCH BASIN
 - --- EXISTING DRAINAGE MANHOLE
 - --- EXISTING STORM DRAIN LINE
 - --- EXISTING SEWER MANHOLE
 - --- EXISTING SEWER LINE
 - --- EXISTING SPOT ELEVATION
 - --- EXISTING SIGN
 - --- EXISTING LIGHT POLE
 - --- EXISTING UTILITY POLE
 - --- EXISTING WATER VALVE
 - --- EXISTING GAS VALVE
 - --- EXISTING CHAIN LINK FENCE
 - --- EXISTING STONEWALL

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS UNLESS THE DIRECTOR OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT OR LAND SURVEYOR HAS FIRST REVIEWED AND APPROVED SUCH ALTERATION. THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-3)

RYAN M. NASH, P.E.
 N.Y.S. P.E. LIC. NO. 89066

JOHN R. ATZL, P.E.
 N.Y.S. P.E. LIC. NO. 50228

6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYSOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLG.S.
1	2-6-23	REVISE ADDITION & PARKING
REVISION	DATE	DESCRIPTION

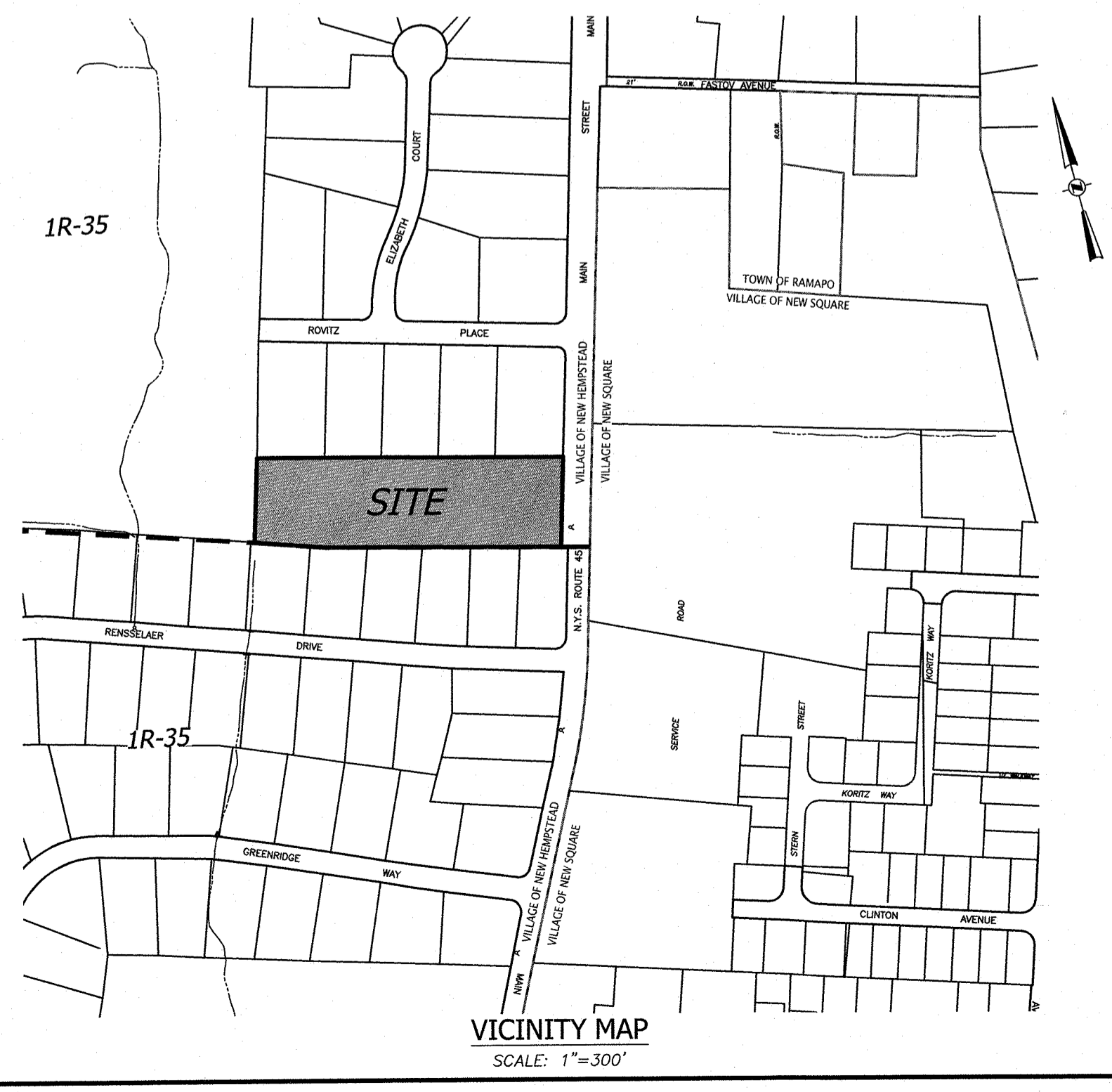
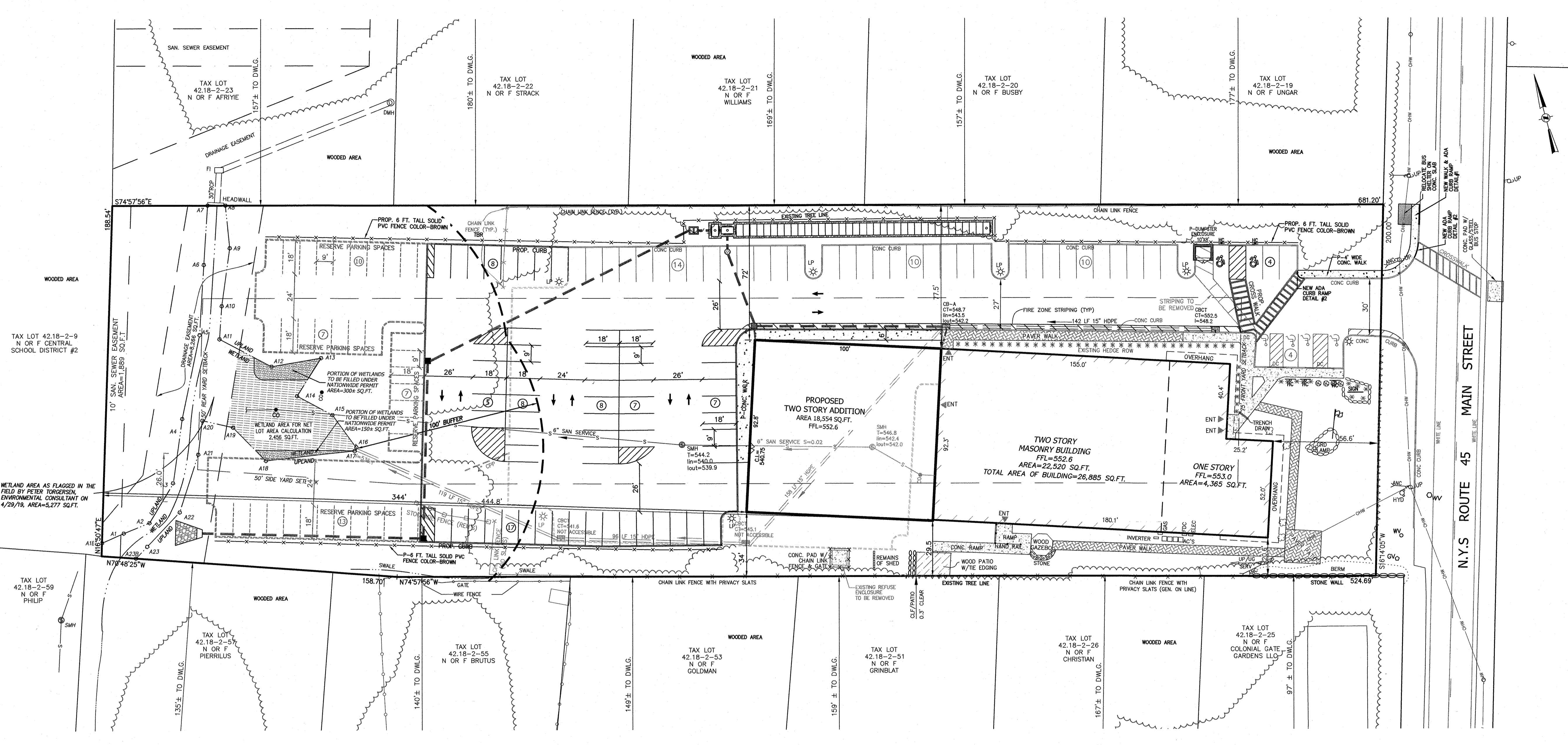
ATZL, NASH & ZIGLER P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

PROJECT: **ILLINOIS PROPERTIES 26 LLC**

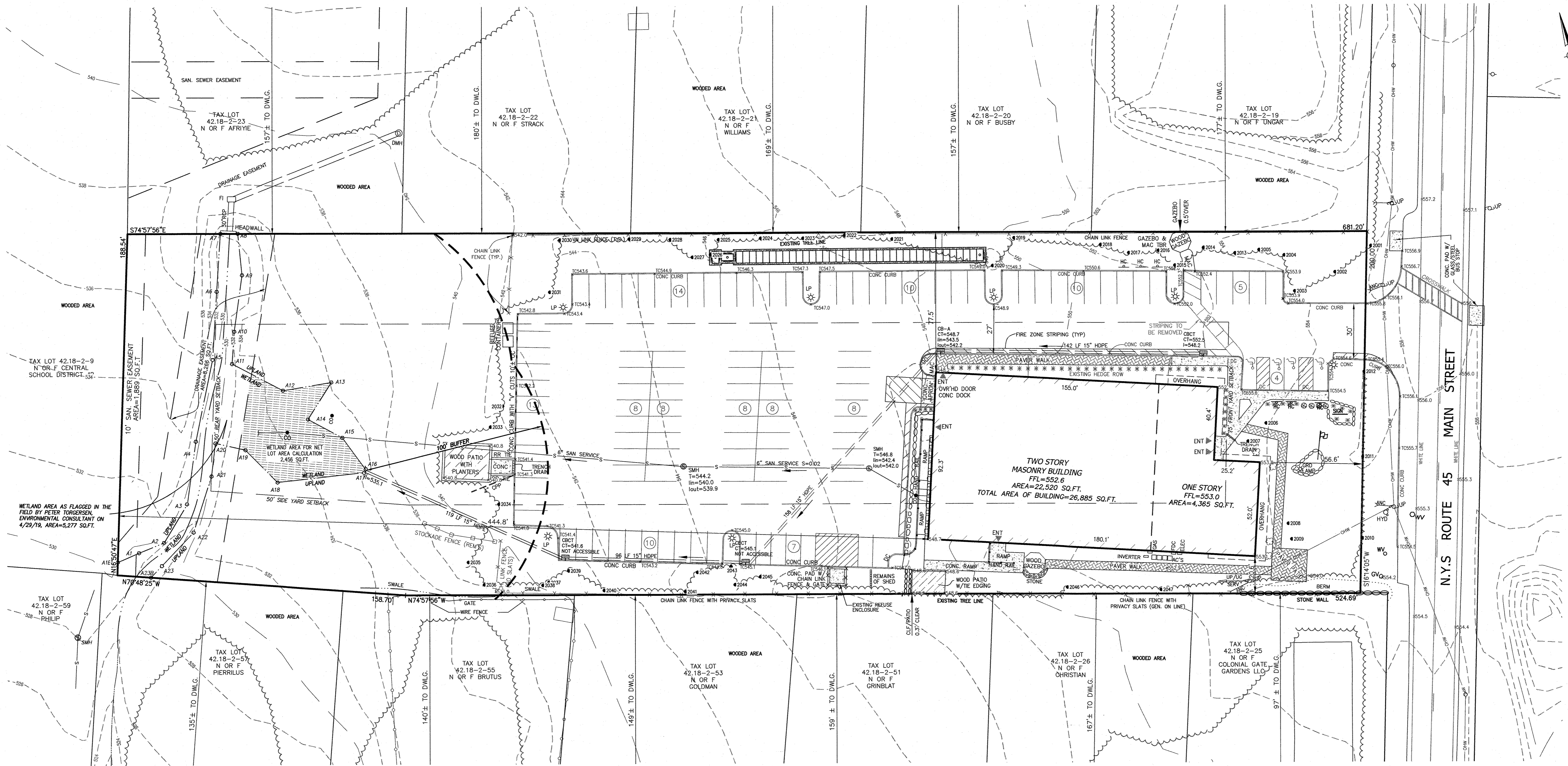
VILLAGE OF NEW HEMPSTEAD
 ROCKLAND COUNTY, NEW YORK

TITLE: **SITE PLAN**

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 1



P:\DRAWINGS\5030\5030 SITE PLAN & TEST HOLE 04-12-24.DWG



TREE LIST

NO.	SIZE	TYPE	CONDITION
2001	15"	LINDEN	GOOD
2002	15"	PINE	GOOD
2003	14"	LINDEN	GOOD
2004	10"	PINE	GOOD
2005	9"	PINE	GOOD
2006	9"	BERRY	GOOD
2007	11"	BERRY	GOOD
2008	8"	BERRY	GOOD
2009	9"	BERRY	GOOD
2010	13"	LINDEN	GOOD
2011	17"	LINDEN	GOOD
2012	15"	LINDEN	GOOD
2013	11"	PINE	GOOD
2014	10"	PINE	GOOD
2015	15"	OAK	GOOD
2016	8"	PINE	GOOD
2017	14"	PINE	GOOD
2018	10"	PINE	POOR
2019	23"	OAK	GOOD
2020	13"	OAK	GOOD
2021	24"	ELM	POOR
2022	14"	ELM	POOR
2023	26"	PINE	GOOD
2024	16"	PINE	POOR
2025	14"	ELM	POOR
2026	8"	PINE	POOR
2027	10"	PINE	POOR
2028	14"	PINE	POOR
2029	18"	PINE	POOR
2030	28"	PINE	POOR
2031	10"	MAPLE	GOOD
2032	12"	TWIN MAPLE	GOOD
2033	12"	QUAD POPLAR	POOR
2034	10"	MAPLE	POOR
2035	12"	LOCUST	POOR
2036	14"	MAPLE	POOR
2037	48"	MAPLE	GOOD
2038	8"	MAPLE	POOR
2039	14"	ELM	POOR
2040	10"	HICKEY	GOOD
2041	19"	MAPLE	GOOD
2042	13"	MAPLE	GOOD
2043	10"	MAPLE	GOOD
2044	35"	MAPLE	GOOD
2045	10"	PINE	GOOD
2046	14"	MAPLE	GOOD
2047	17"	MAPLE	GOOD

TREE LEGEND

- DENOTES EXISTING TREE TO REMAIN
- ✗ DENOTES EXISTING TREE TO BE REMOVED
- ⊙ DENOTES EXISTING TREE TO BE REMOVED

BULK REQUIREMENTS:

ZONE	REQD	REQUIRED	EXISTING
MINIMUM LOT AREA	2 ACRES	126,998 SF/2.915 ACRES	
MINIMUM LOT FRONTAGE	150 FT.	200 FT.	
MINIMUM LOT WIDTH	150 FT.	200 FT.	
MINIMUM FRONT YARD	75 FT.	56.6 FT.	
MINIMUM SIDE YARD	50 FT.	20.6 FT.	
MINIMUM TOTAL SIDE YARD	100 FT.	98.1 FT.	
MINIMUM REAR YARD	50 FT.	444.8 FT.	
MAXIMUM FLOOR AREA RATIO	0.30	0.21	
MAXIMUM IMPERVIOUS SURFACE RATIO	0.75	0.52	
MAXIMUM BUILDING STORIES	2 STORIES	2 STORIES	
MAXIMUM BUILDING HEIGHT	35 FT.	35 FT.	

SPECIAL PERMIT REQUIRED FROM THE VILLAGE BOARD
 VARIANCE REQUIRED BUILDING LARGER THAN 20,000 SQ.FT.
 PLANNING BOARD APPROVAL REQUIRED FOR WORK WITHIN 100 FT. WETLANDS BUFFER

LOT AREA CALCULATION:

GROSS LOT AREA	=135,511 SQ.FT.
- 25% AREA OF SANITARY SEWER EASEMENT	= 472 SQ.FT.
- 75% AREA OF DRAINAGE EASEMENT	= 6,199 SQ.FT.
- 75% WETLAND AREA	= 1,842 SQ.FT.
NET LOT AREA	=126,998 SQ.FT.

LOT COVERAGE CALCULATION:

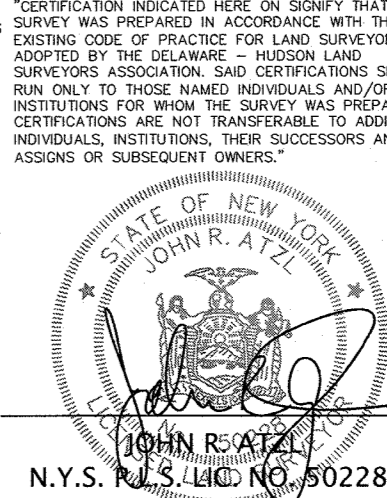
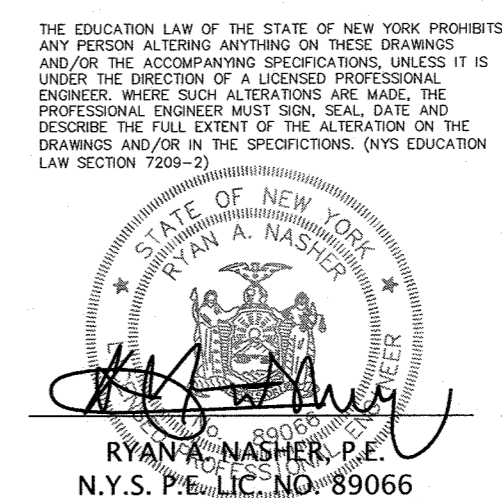
EXISTING	AREA
BUILDING	15,597 SQ.FT.
GAZEBO	214 SQ.FT.
CONCRETE WALK	2,185 SQ.FT.
PAVER WALK	2,035 SQ.FT.
MACADAM AREA	45,462 SQ.FT.
TOTAL	65,493 SQ.FT.

PARKING:

1 SPACE/250 SQ.FT.	
EXISTING:	
26,885 SQ.FT. / 250 SQ.FT.	= 107.5 OR 108 SPACES REQUIRED
	113 SPACES PROVIDED

LEGEND

- 360 --- EXISTING 2' CONTOUR
- 300 --- EXISTING 10' CONTOUR
- --- EXISTING WATER MAIN
- ⊕ --- EXISTING FIRE HYDRANT
- --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- ⊙ DMH --- EXISTING DRAINAGE MANHOLE
- --- EXISTING STORM DRAIN LINE
- ⊙ SMH --- EXISTING SEWER MANHOLE
- --- EXISTING SEWER LINE
- + 360.0 --- EXISTING SPOT ELEVATION
- --- EXISTING SIGN
- ☆ LP --- EXISTING LIGHT POLE
- ⊕ UP --- EXISTING UTILITY POLE
- ⊕ --- EXISTING WATER VALVE
- ⊕ --- EXISTING GAS VALVE
- --- EXISTING CHAIN LINK FENCE
- ⊕ --- EXISTING STONEWALL



UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-3)

6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPM & NYS DOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGs.
1	2-6-23	REVISE ADDITION & PARKING
REVISION	DATE	DESCRIPTION

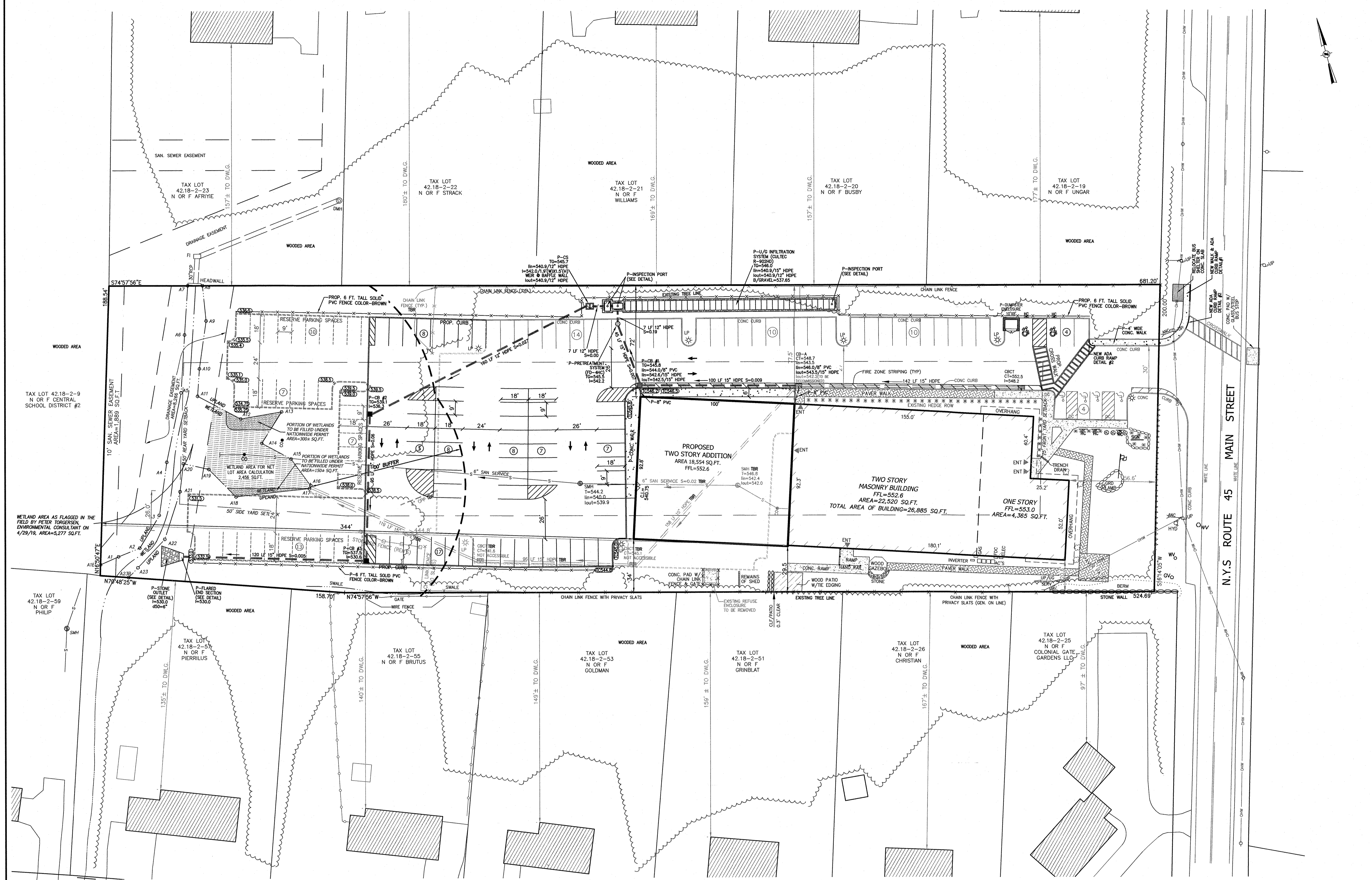
AN&Z ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

PROJECT: **ILLINOIS PROPERTIES 26 LLC**

**VILLAGE OF NEW HEMPSTEAD
 ROCKLAND COUNTY, NEW YORK**

TITLE: **EXISTING CONDITION**

DRAWN BY:	LF	CHECKED BY:	JRA
DATE:	OCTOBER 31, 2022	SCALE:	1 IN. = 30 FT.
PROJECT NO:	5030	DRAWING NO:	2



REVISION	DATE	DESCRIPTION
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYSOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGs.
1	2-6-23	REVISE ADDITION & PARKING

AN&Z
ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

PROJECT:
ILLINOIS PROPERTIES 26 LLC

**VILLAGE OF NEW HEMPSTEAD
 ROCKLAND COUNTY, NEW YORK**

TITLE:
AERIAL NEIGHBORHOOD PLAN

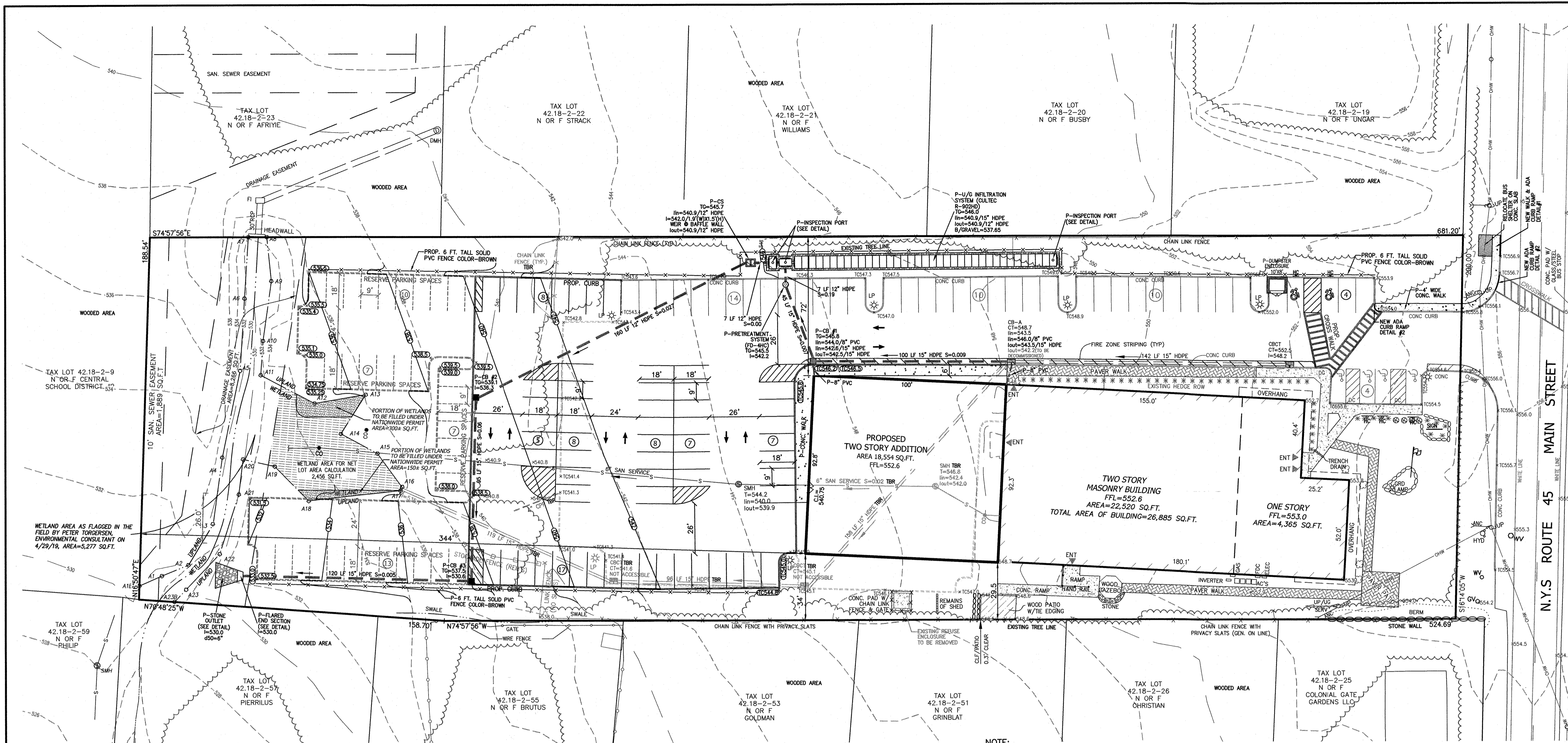
DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 3

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 5, OF THE NEW YORK STATE EDUCATION LAW.
 ONLY COPIES FROM THE ORIGINAL TRACKING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
 THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. HEREIN, A LICENSED PROFESSIONAL ENGINEER HAS REVIEWED THESE DRAWINGS AND SPECIFICATIONS AND CERTIFIES THAT THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

STATE OF NEW YORK
 RYAN A. NASHER, P.E.
 N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
 JOHN R. ATZL
 N.Y.S. P.E. LIC. NO. 50228

P:\DRAWINGS\5030\5030 SITE PLAN & TEST HOLE 04-12-24.DWG



LEGEND

---	EXISTING 2' CONTOUR	---	PROPOSED 2' CONTOUR
---	EXISTING 10' CONTOUR	---	PROPOSED 10' CONTOUR
---	EXISTING WATER MAIN	---	PROPOSED WATER SERVICE
---	EXISTING FIRE HYDRANT	---	PROPOSED WATER VALVE
---	EXISTING GAS LINE	---	PROPOSED FIRE HYDRANT
---	EXISTING CATCH BASIN	---	PROPOSED GAS SERVICE
---	EXISTING DRAINAGE MANHOLE	---	PROPOSED GAS VALVE
---	EXISTING STORM DRAIN LINE	---	PROPOSED CATCH BASIN
---	EXISTING SEWER MANHOLE	---	PROPOSED STORM DRAIN LINE
---	EXISTING SEWER LINE	---	PROPOSED SEWER CLEANOUT
---	EXISTING SPOT ELEVATION	---	PROPOSED SEWER HOSE CONNECTION
---	EXISTING SIGN	---	PROPOSED SPOT ELEVATION
---	EXISTING LIGHT POLE	---	PROPOSED WATER SERVICE
---	EXISTING UTILITY POLE	---	PROPOSED GAS SERVICE
---	EXISTING WATER VALVE	---	PROPOSED UNDERGROUND ELECTRIC LINE
---	EXISTING GAS VALVE	---	PROPOSED ROOF DRAIN
---	EXISTING CHAIN LINK FENCE	---	PROPOSED WATERSHED
---	EXISTING STONEWALL		

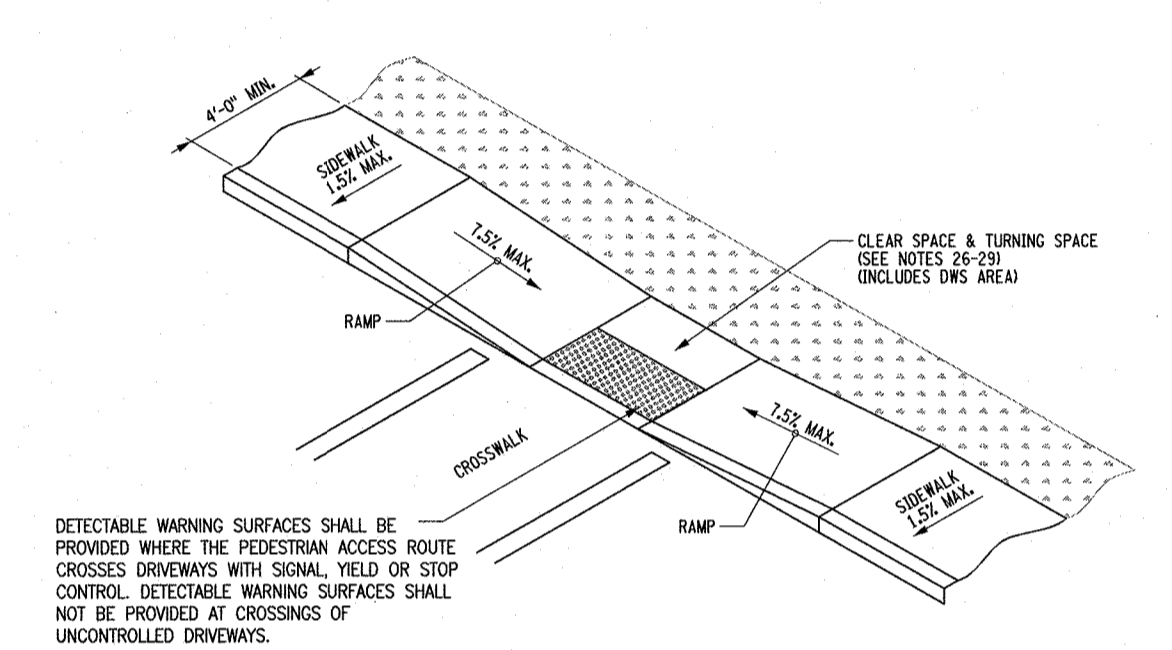
TURNING SPACE AND CLEAR SPACE NOTE:

26. WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE SHALL BE PROVIDED AT THE BASE OR THE TOP OF CURB RAMP, AS APPLICABLE. TURNING SPACES SHALL BE PERMITTED TO OVERLAP CLEAR SPACES.

27. WHERE THERE ARE NO VERTICAL CONSTRAINTS AT THE BACK OF SIDEWALK, (E.G., VERTICAL CURBS, BUILDINGS, FENCES) THE TURNING SPACE DIMENSIONS SHALL BE 4'-0" X 4'-0" MINIMUM. WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK, THE TURNING SPACE SHALL BE 4'-0" X 5'-0" MINIMUM. THE 5'-0" DIMENSION SHALL BE IN THE DIRECTION OF THE RAMP RUN.

28. TURNING SPACES SHALL NOT BE DESIGNED WITH A SLOPE GREATER THAN 1.5% IN ANY DIRECTION, WHILE PROVIDING POSITIVE DRAINAGE. THE MAXIMUM SLOPE FOR WORK ACCEPTANCE IS 2.0%. THE FOLLOWING EXCEPTIONS ARE ALLOWED: A. WHERE PEDESTRIAN STREET CROSSINGS ARE PROVIDED AT INTERSECTIONS WHERE THERE IS NO YIELD OR STOP SIGN, OR WHERE THERE IS A TRAFFIC SIGNAL THAT IS DESIGNED FOR THE GREEN PHASE, AND AT MIDBLOCK CROSSINGS, THE CROSS SLOPE OF THE TURNING SPACE SHALL BE PERMITTED TO EQUAL 1/8" STREET OR HIGHWAY GRADE. WHEN A RAMP EXISTS BETWEEN THE TURNING SPACE AND THE CURB, THE CROSS SLOPE OF THE TURNING SPACE SHOULD BE LESS STEEP THAN THE ROADWAY GRADE AND AS FLAT AS PRACTICABLE WHENEVER POSSIBLE.

29. BELOW THE BOTTOM GRADE BREAK OF A CURB RAMP, A CLEAR SPACE OF 4'-0" X 4'-0" MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN CROSSWALK AND OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. THE CLEAR SPACE MAY OVERLAP TURNING SPACES, DETECTABLE WARNING SURFACES, AND DROP CURBS.



CURB RAMP DETAIL #1

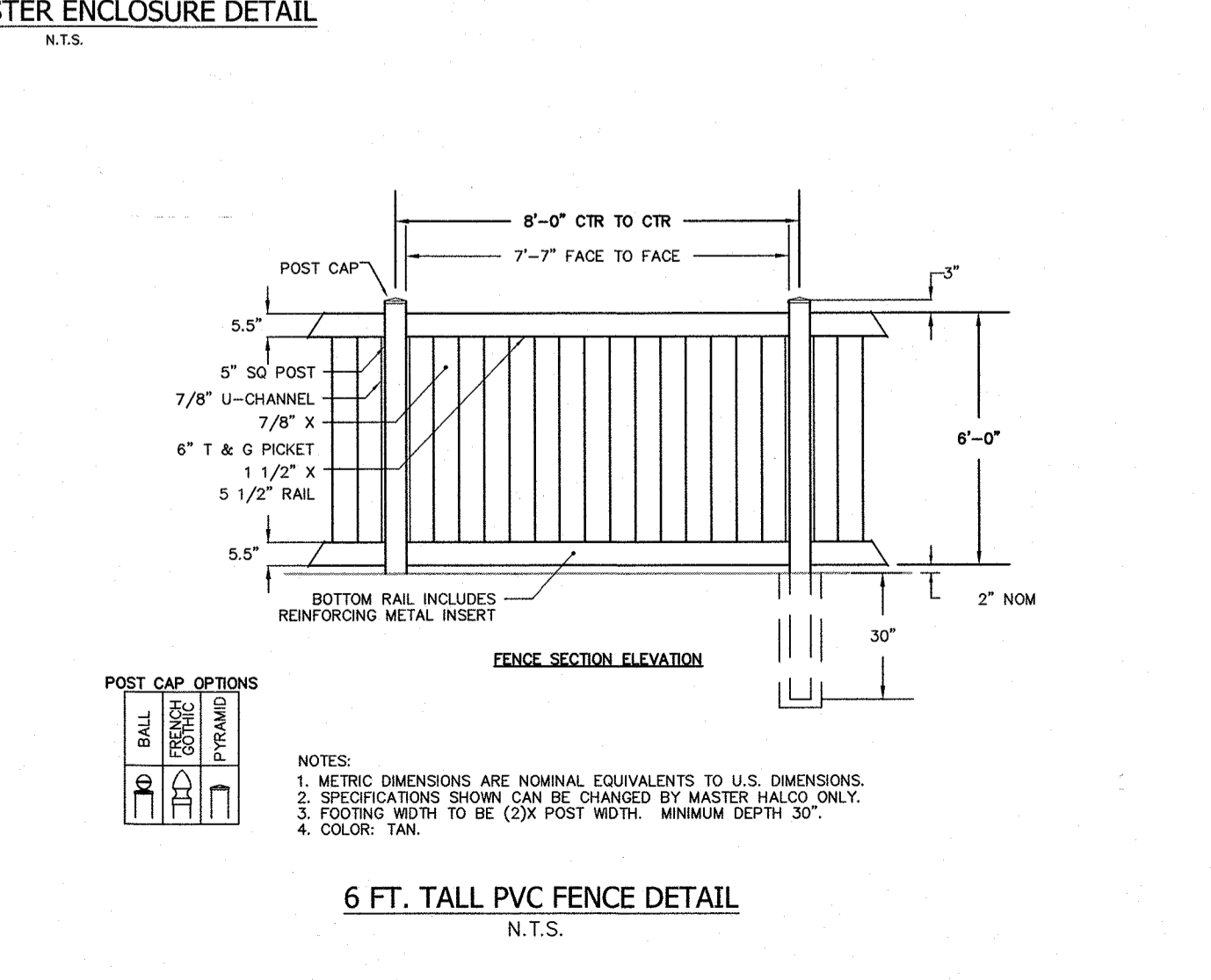
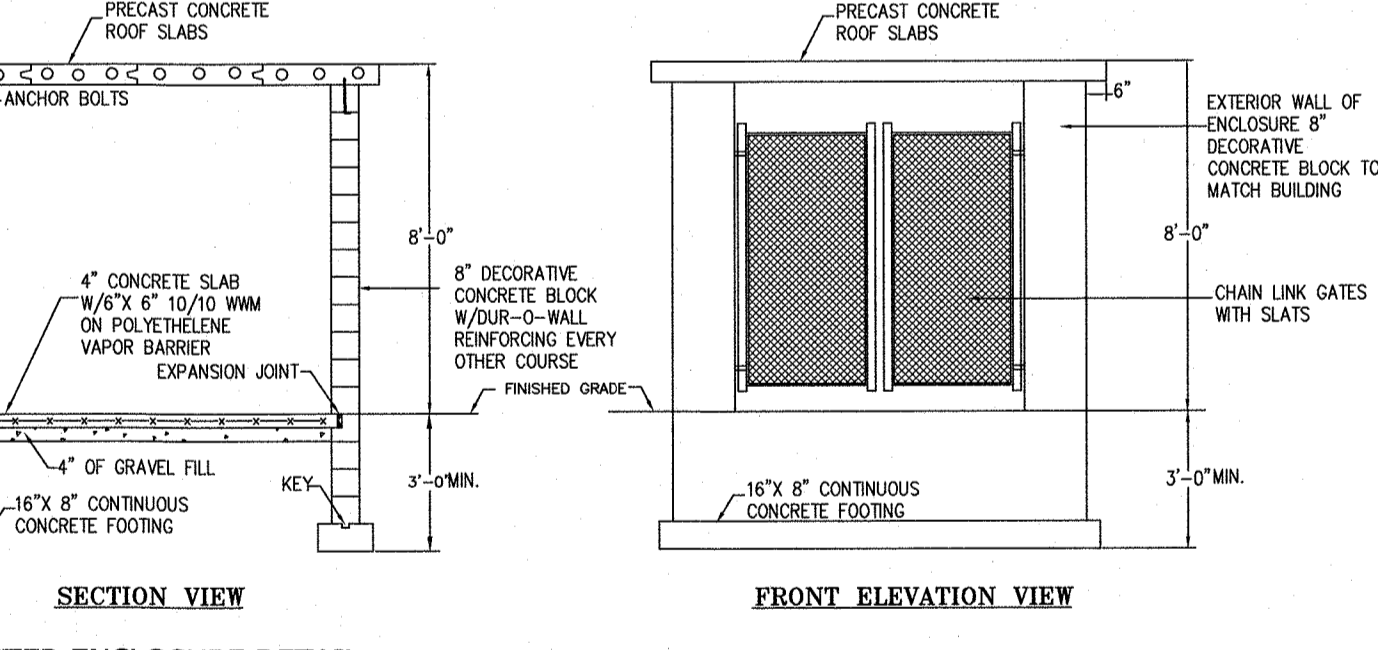
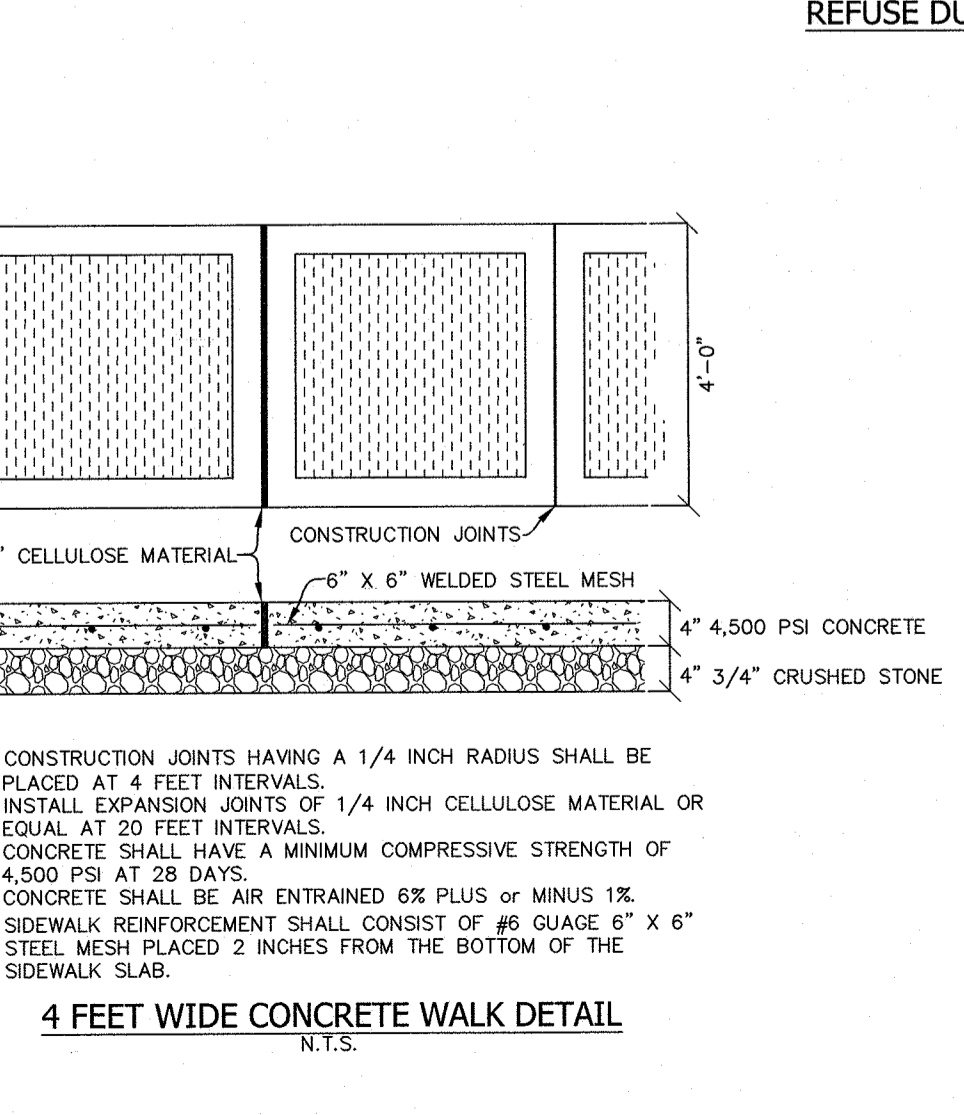
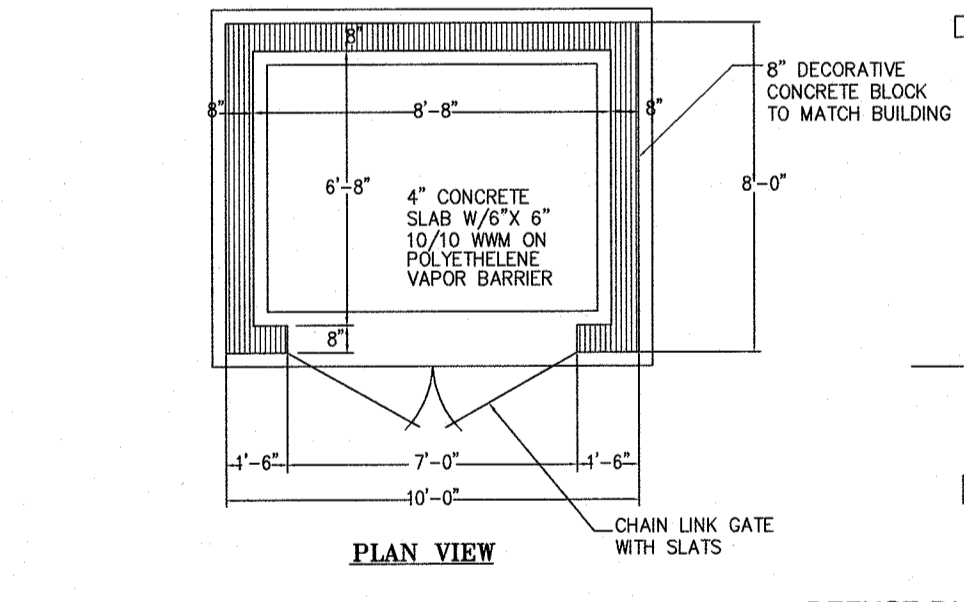
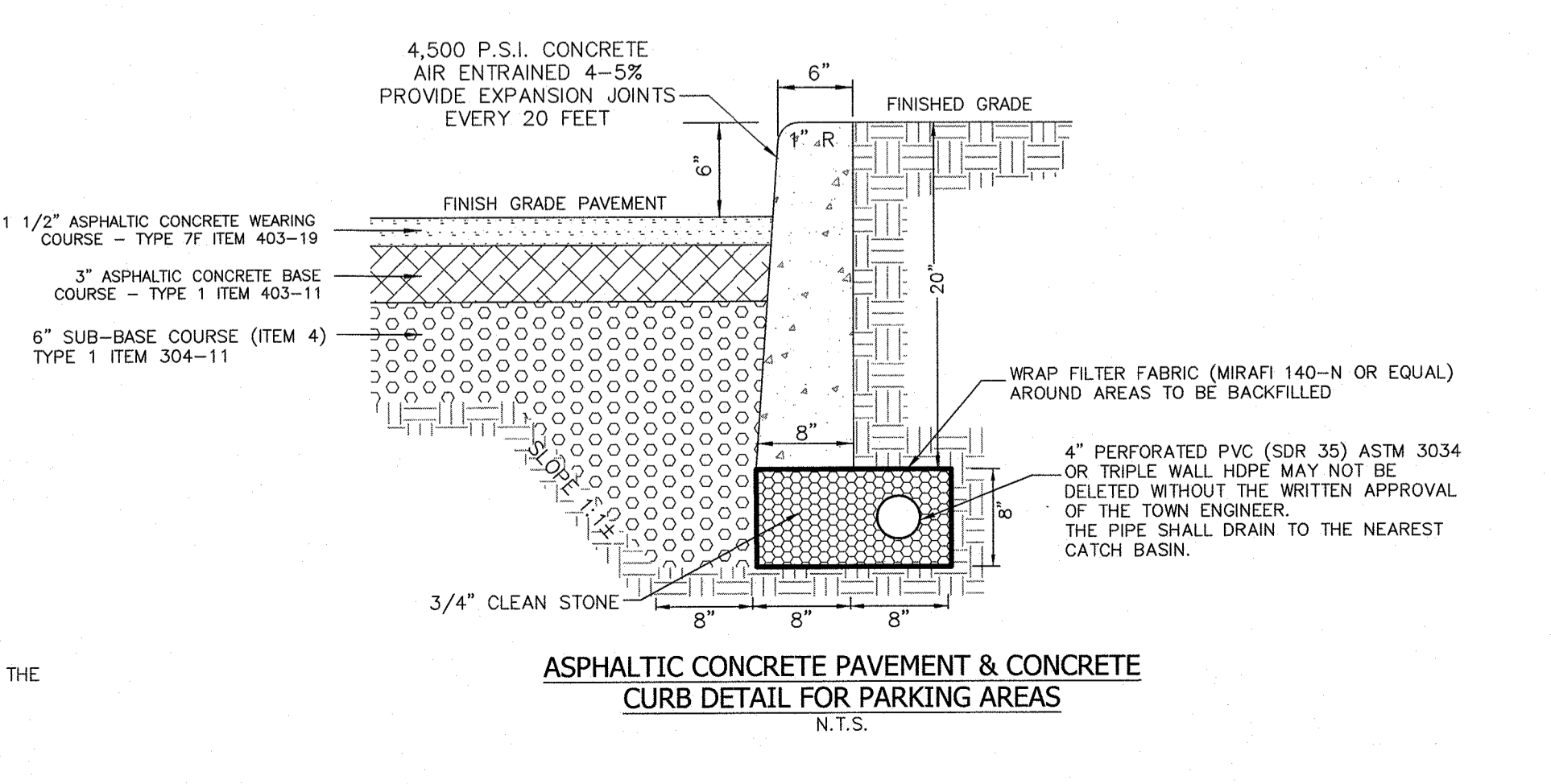
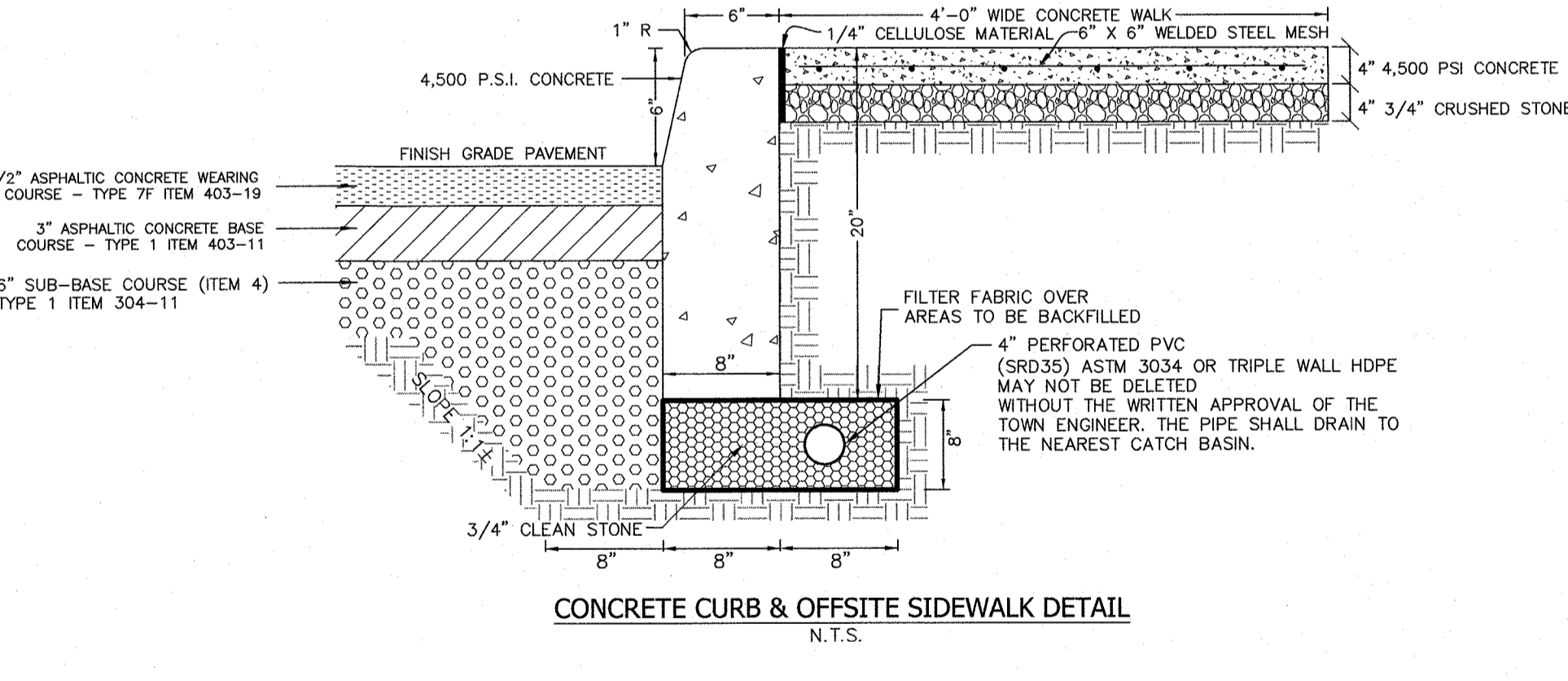
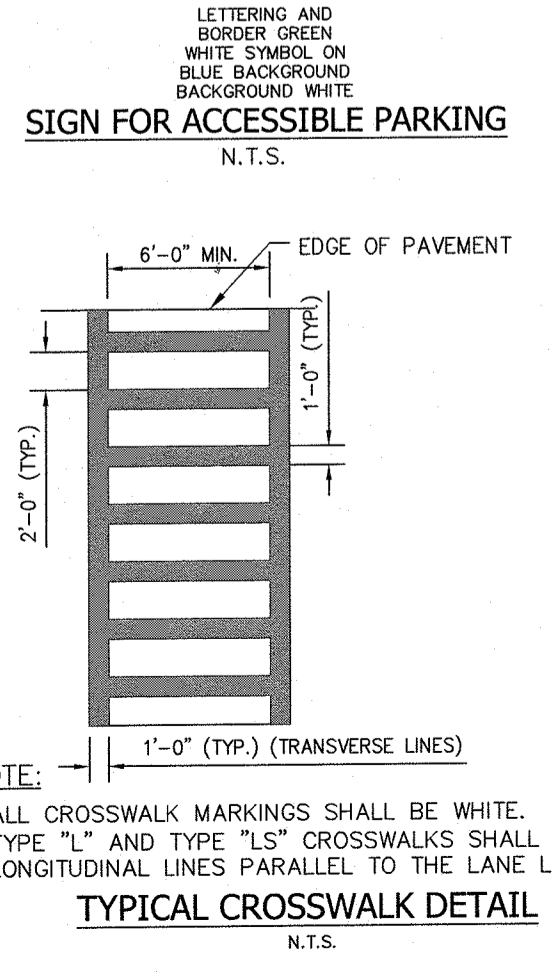
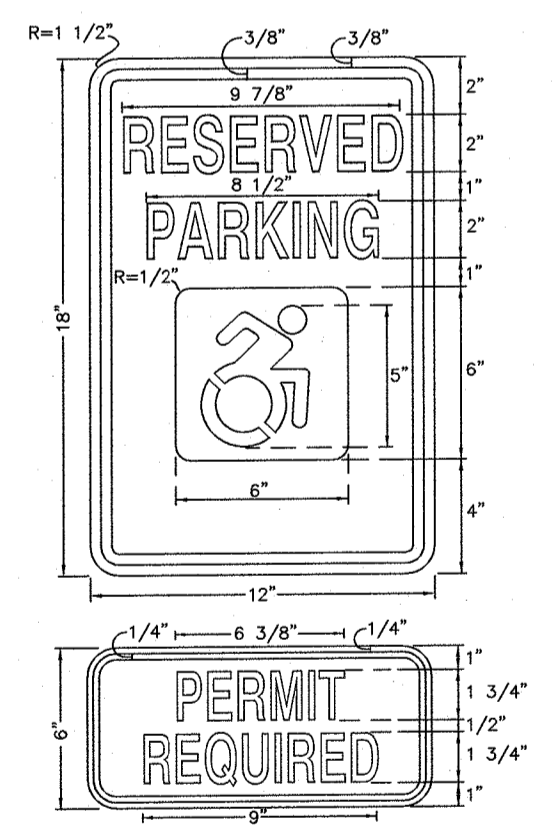
1. DETECTABLE WARNING SURFACES SHALL BE PROVIDED WHERE THE PEDESTRIAN ACCESS ROUTE CROSSES DRIVEWAYS WITH SIGNAL, YIELD OR STOP CONTROL. DETECTABLE WARNING SURFACES SHALL NOT BE PROVIDED AT CROSSINGS OF UNCONTROLLED DRIVEWAYS.

CURB RAMP DETAIL #2

1. DETECTABLE WARNING SURFACES SHALL BE PROVIDED WHERE THE PEDESTRIAN ACCESS ROUTE CROSSES DRIVEWAYS WITH SIGNAL, YIELD OR STOP CONTROL. DETECTABLE WARNING SURFACES SHALL NOT BE PROVIDED AT CROSSINGS OF UNCONTROLLED DRIVEWAYS.

NOTE:

1. ALL SURFACE RUNOFF FROM THE ROOF (TWO STORY ADDITION AND TWO STORY MASONRY BUILDING) SHALL DRAIN TO CATCH BASIN A AND PROPOSED CATCH BASIN No. 1 (CB-A AND P-CB #1).



REVISION	DATE	DESCRIPTION
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYS DOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGs.
1	2-6-23	REVISE ADDITION & PARKING

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALLOWING ANOTHER TO TAKE SERVICES AND/OR THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, DATE, AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

JOHN R. ATZL, P.E.
N.Y.S. P.E. LIC. NO. 80228

ATZL, NASHER & ZIGLER P.C.
ENGINEERS - SURVEYORS - PLANNERS

232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

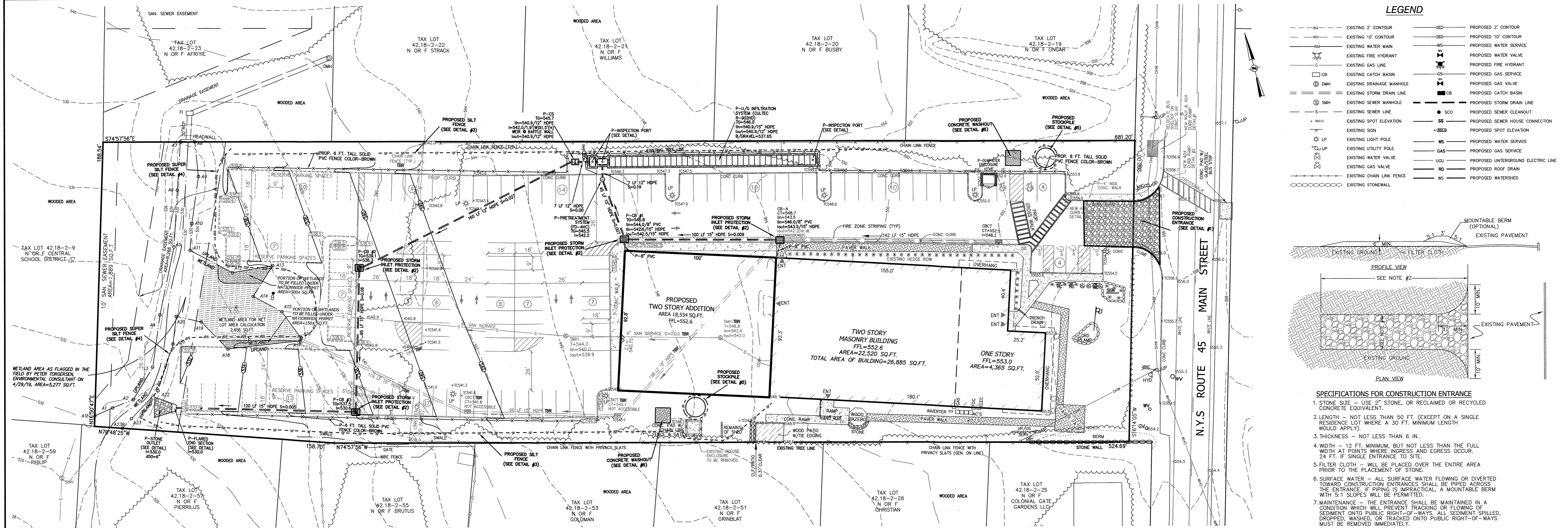
PROJECT: **ILLINOIS PROPERTIES 26 LLC**

VILLAGE OF NEW HEMPSTEAD
ROCKLAND COUNTY, NEW YORK

TITLE: **GRADING PLAN**

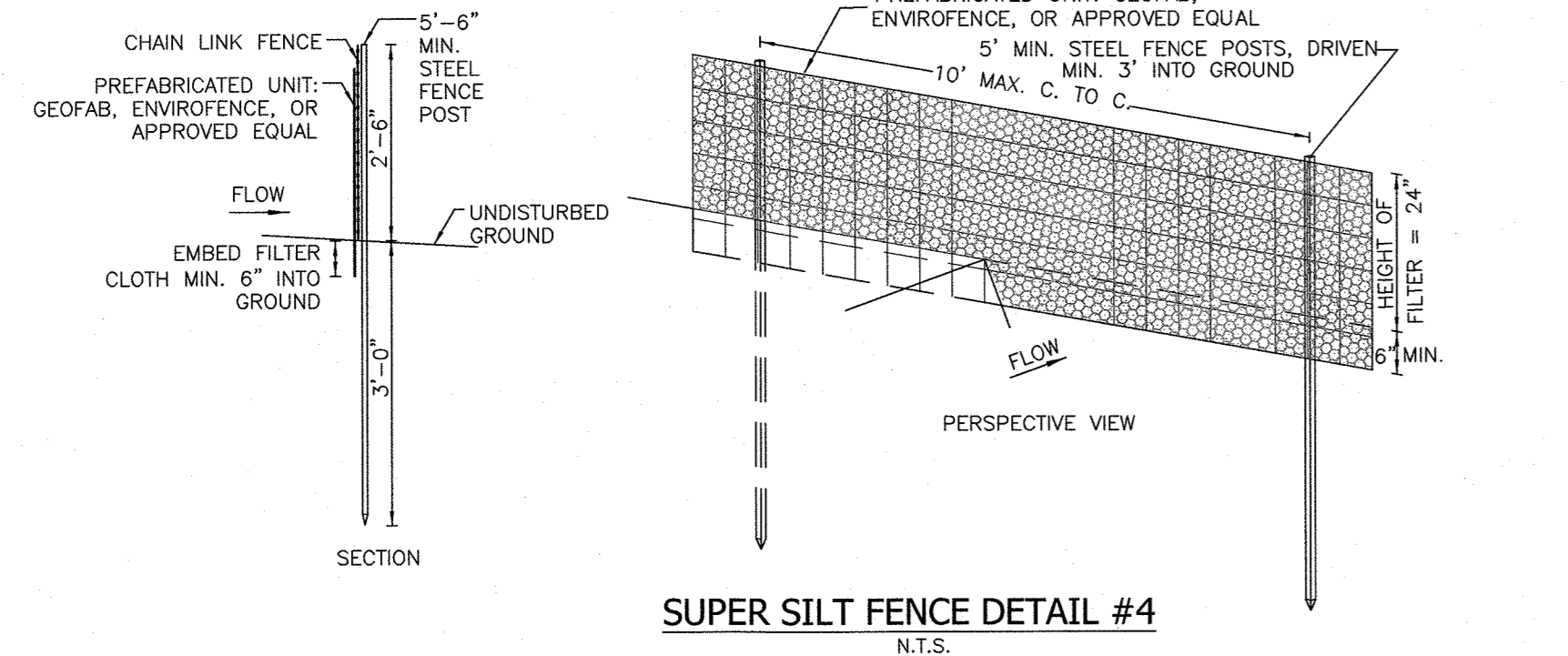
DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 4

P:\DRAWINGS\5030\5030 SITE PLAN & TEST HOLE 04-22-24.DWG



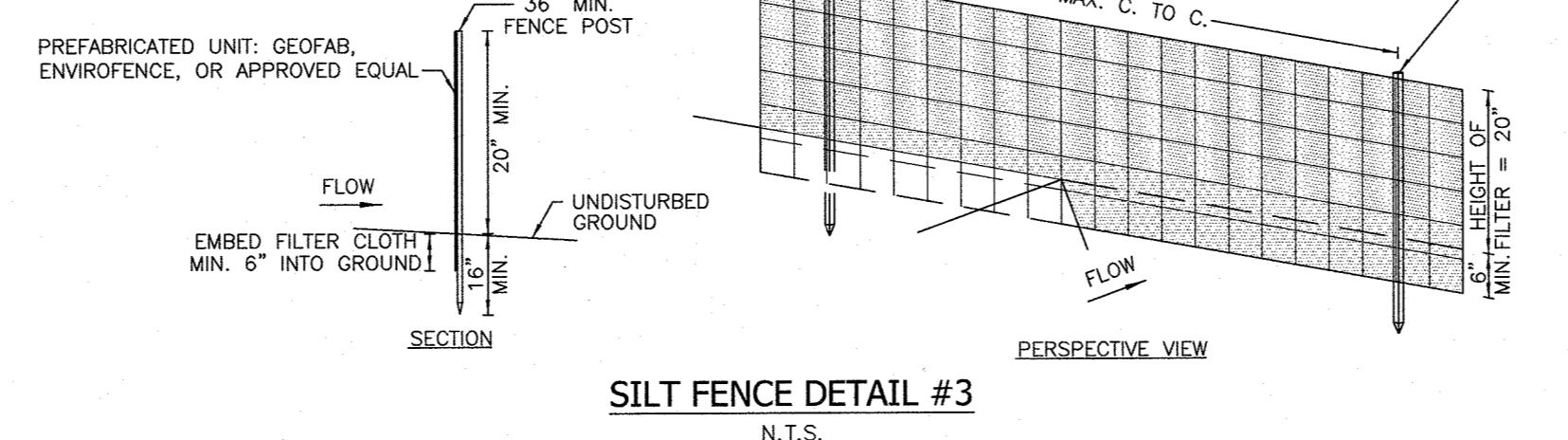
CONSTRUCTION NOTES FOR PRE FABRICATED SILT FENCE

- 1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- 2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- 3. THE FABRIC SHALL BE PLACED AGAINST CHAIN LINK FENCE AS SUPPORT BACKING WITH POSTS DRIVEN 3 FEET IN THE GROUND.
- 4. POSTS FOR SUPER SILT FENCE SHALL BE STANDARD CHAIN LINK FENCE POSTS.



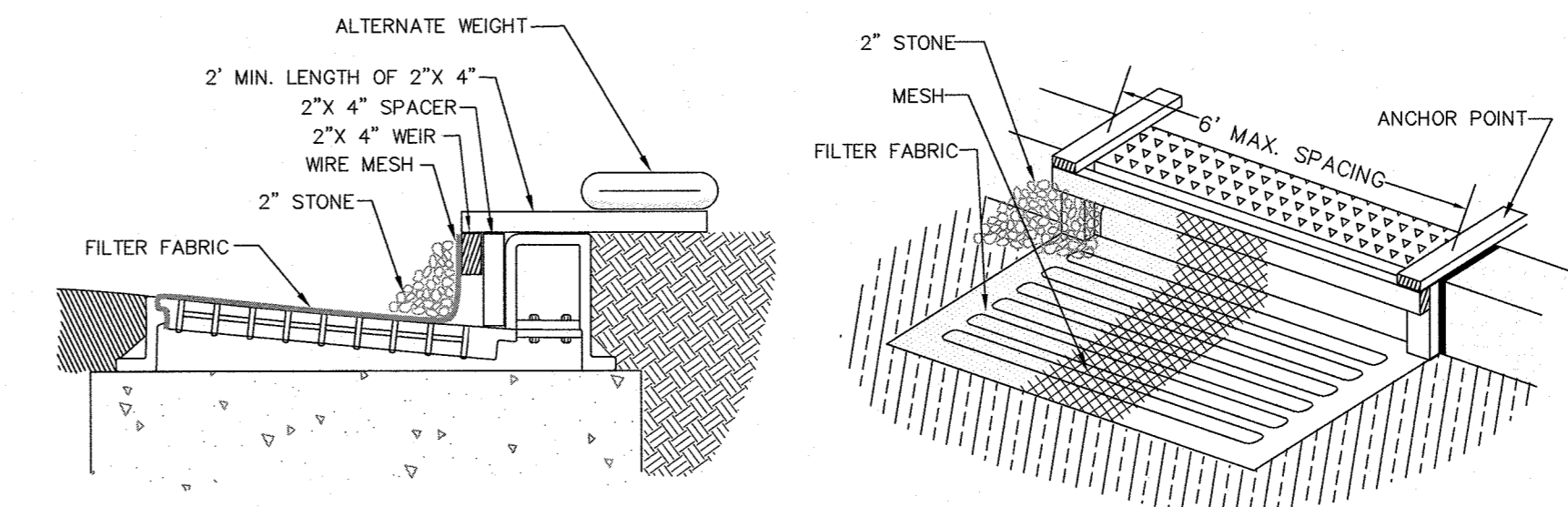
CONSTRUCTION NOTES FOR PRE FABRICATED SILT FENCE

- 1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- 2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



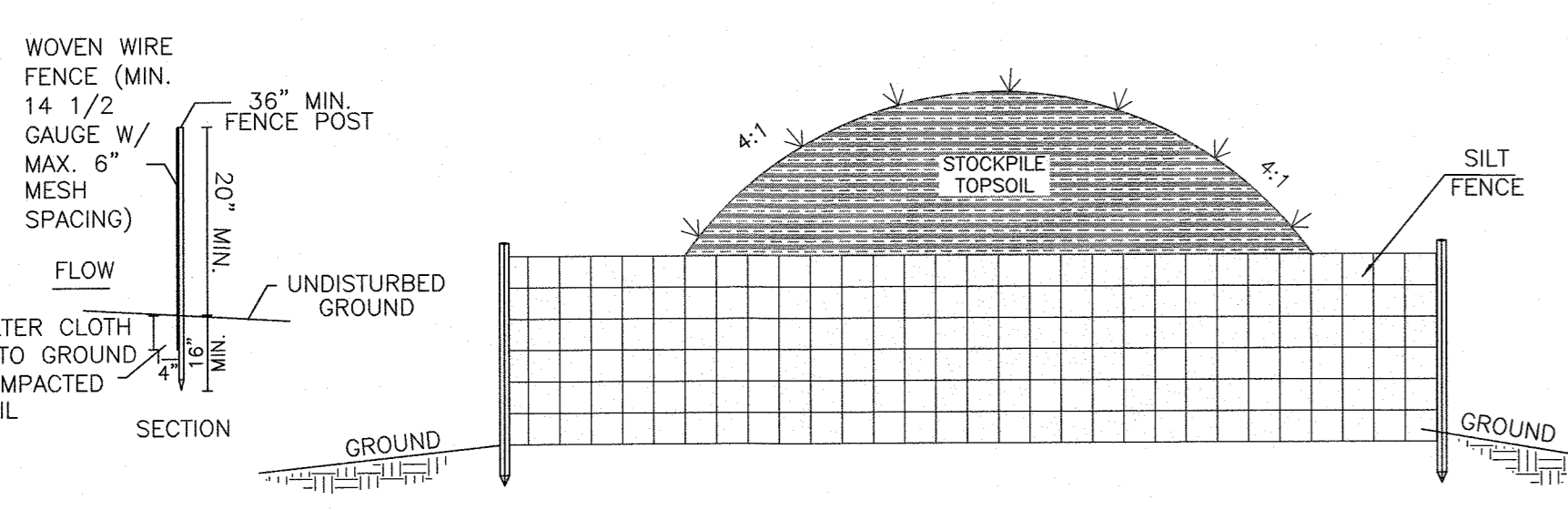
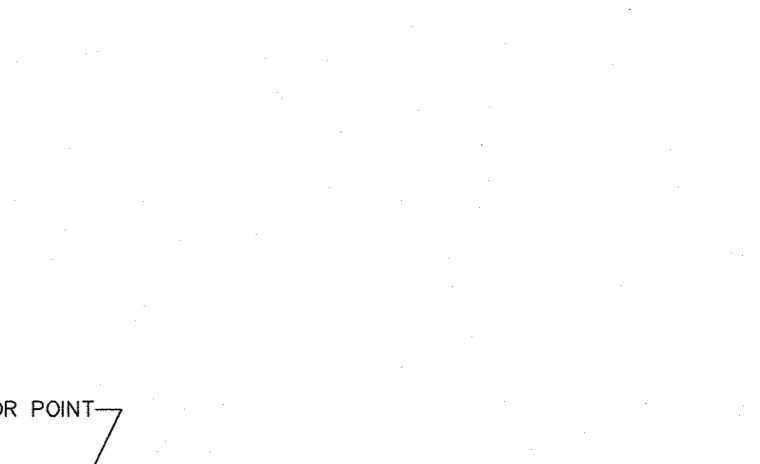
SPECIFICATIONS FOR CURB INLET PROTECTION

- 1. FILTER FABRIC SHALL HAVE AN EDS OF 40-85.
- 2. WOODEN FRAME SHALL BE CONSTRUCTED OF 2"x4" CONSTRUCTION GRADE LUMBER.
- 3. WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30" MINIMUM WIDTH WITH A LENGTH 4" LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2"x4" WEIR.
- 4. THE WEIR SHALL BE SECURELY NAILED TO 2"x4" SPACERS 9" LONG SPACED NO MORE THAN 6" APART.
- 5. THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2"x4" ANCHORS 2' LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.

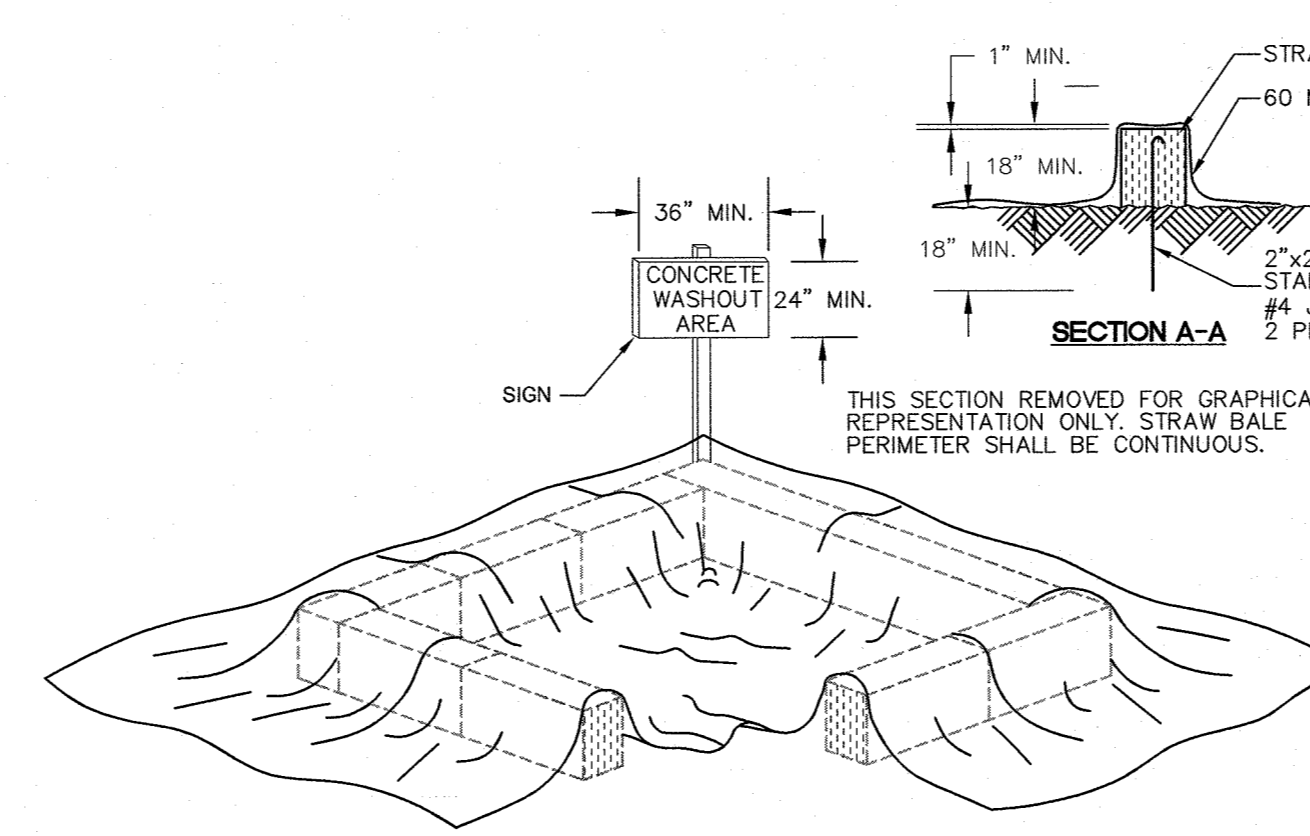


CONSTRUCTION ENTRANCE DETAIL #1

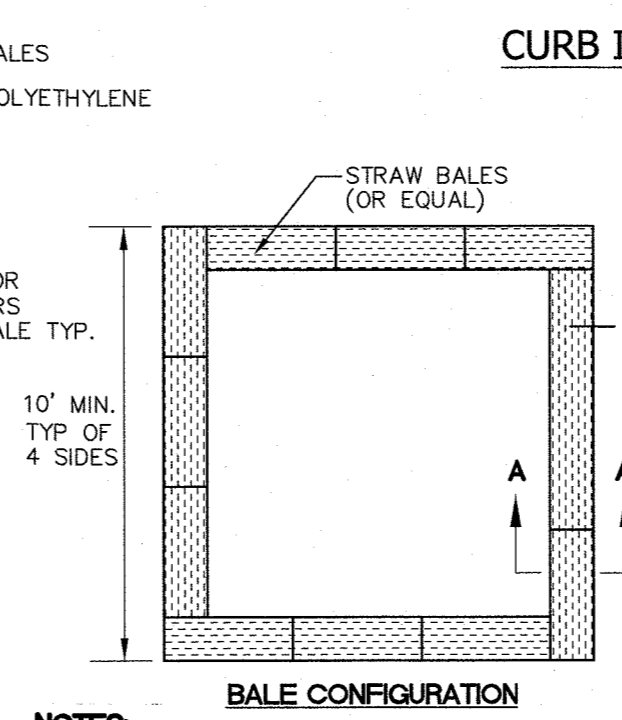
N.T.S.



STOCKPILE DETAIL #6
N.T.S.



CONCRETE WASHOUT DETAIL #5
N.T.S.



BALE CONFIGURATION
N.T.S.

REVISION	DATE	DESCRIPTION
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYSOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGS.
1	2-6-23	REVISE ADDITION & PARKING

ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4684
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

ILLINOIS PROPERTIES 26 LLC

**VILLAGE OF NEW HEMPSTEAD
ROCKLAND COUNTY, NEW YORK**

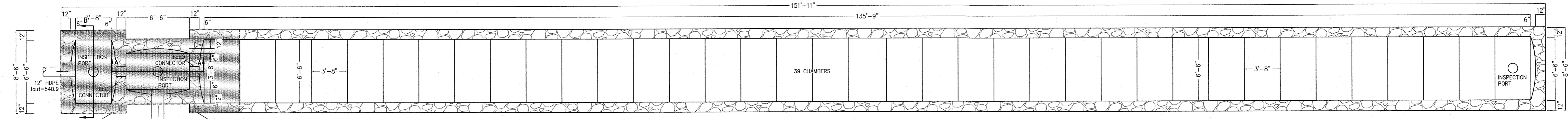
EROSION & SEDIMENT CONTROL PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 5

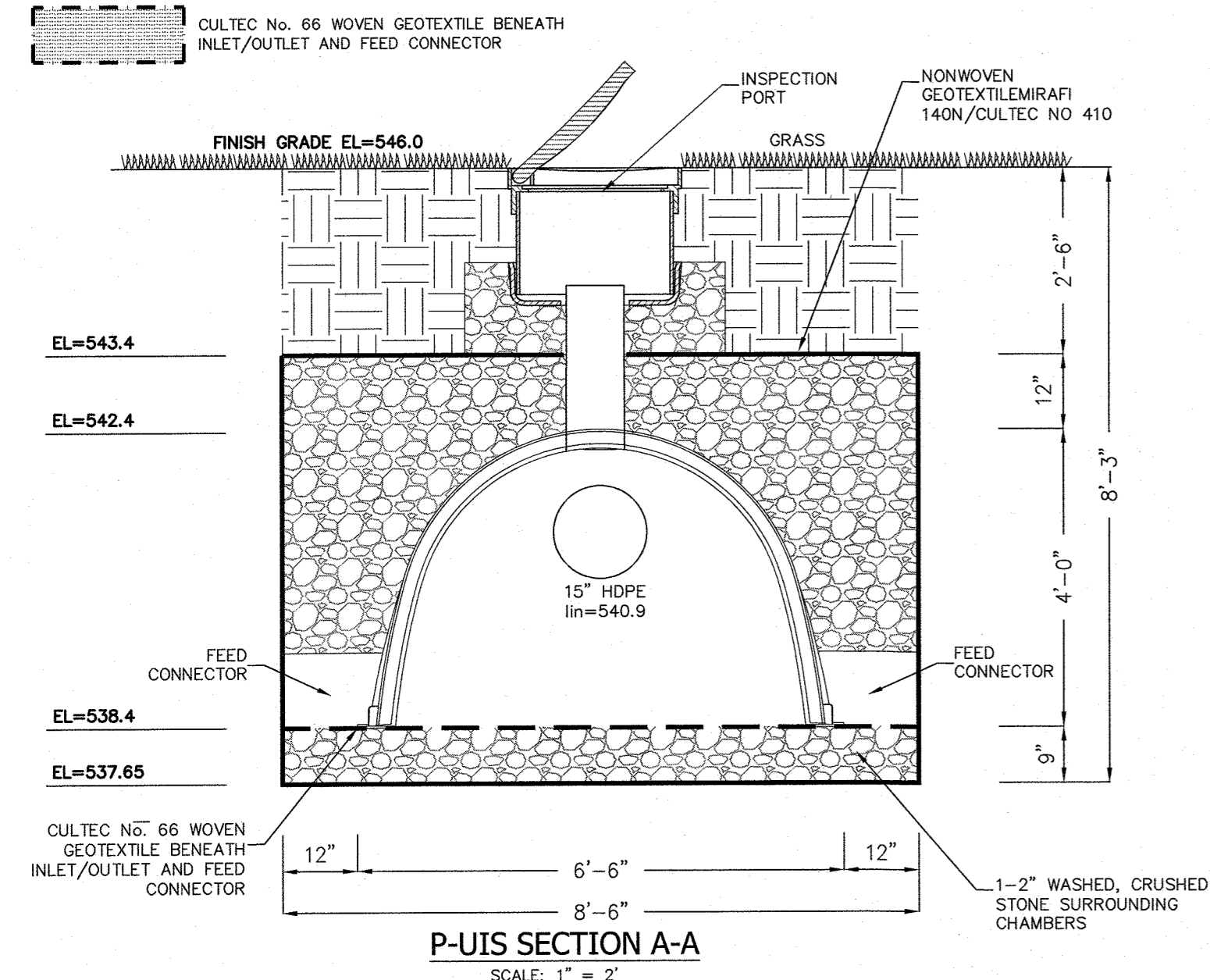
STATE OF NEW YORK
SEAL OF RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
SEAL OF JOHN R. ATZL, P.E.
N.Y.S. P.E. LIC. NO. 50228

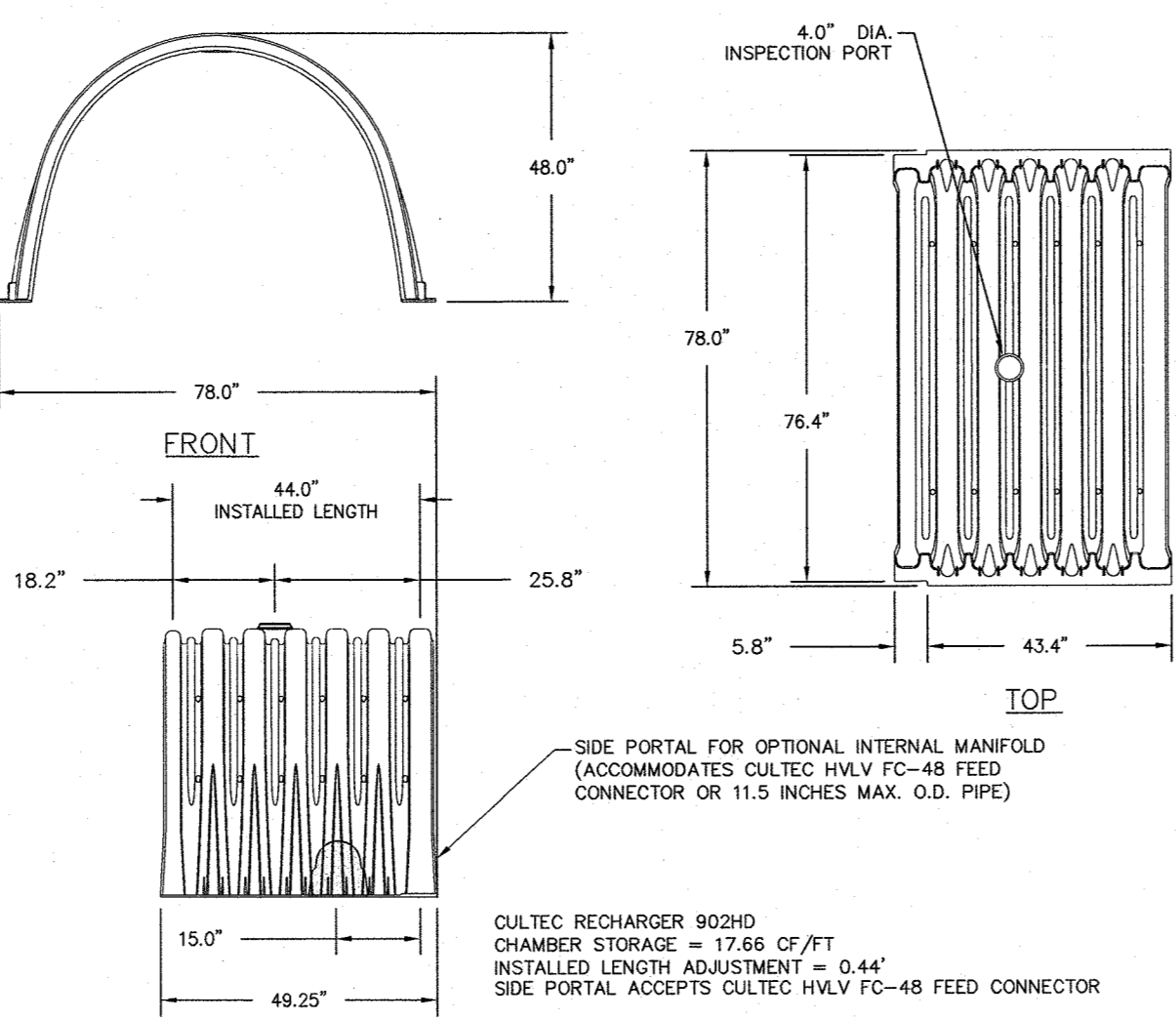
P:\DRAWINGS\5030\5030 SITE PLAN & TEST HOLE 04-12-24.DWG



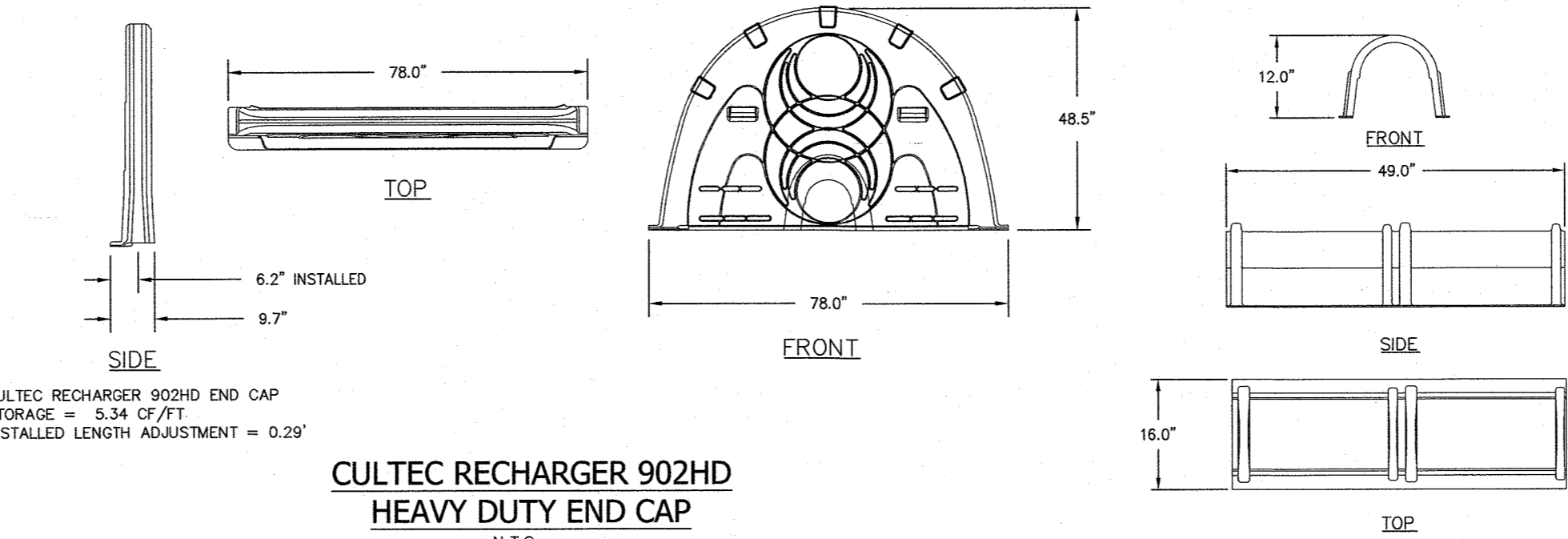
P-UNDERGROUND INFILTRATION SYSTEM (U/G) DETAIL
SCALE: 1" = 5'



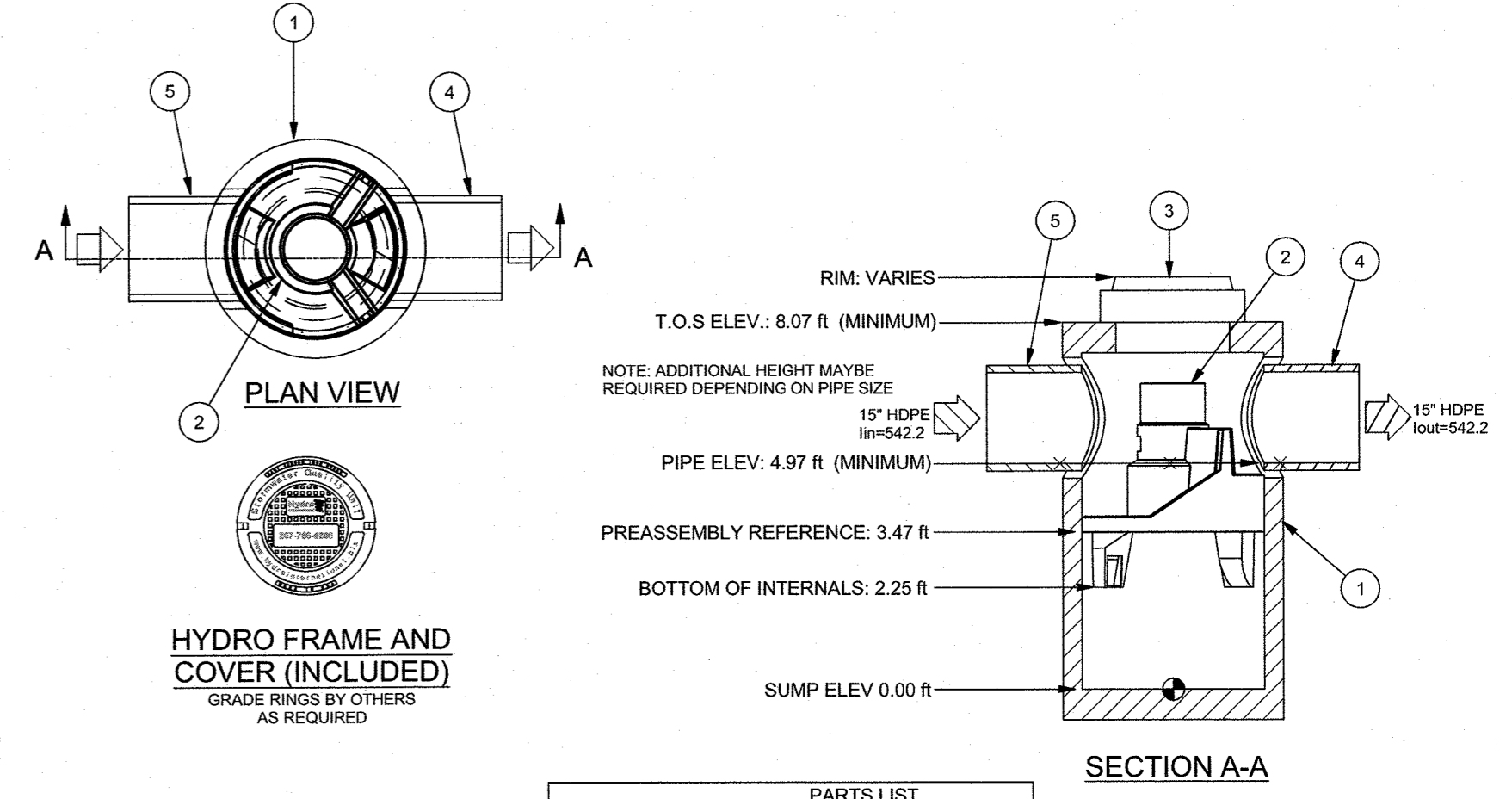
P-UIS SECTION A-A
SCALE: 1" = 2'



CULTEC RECHARGER 902HD HEAVY DUTY END CAP
N.T.S.



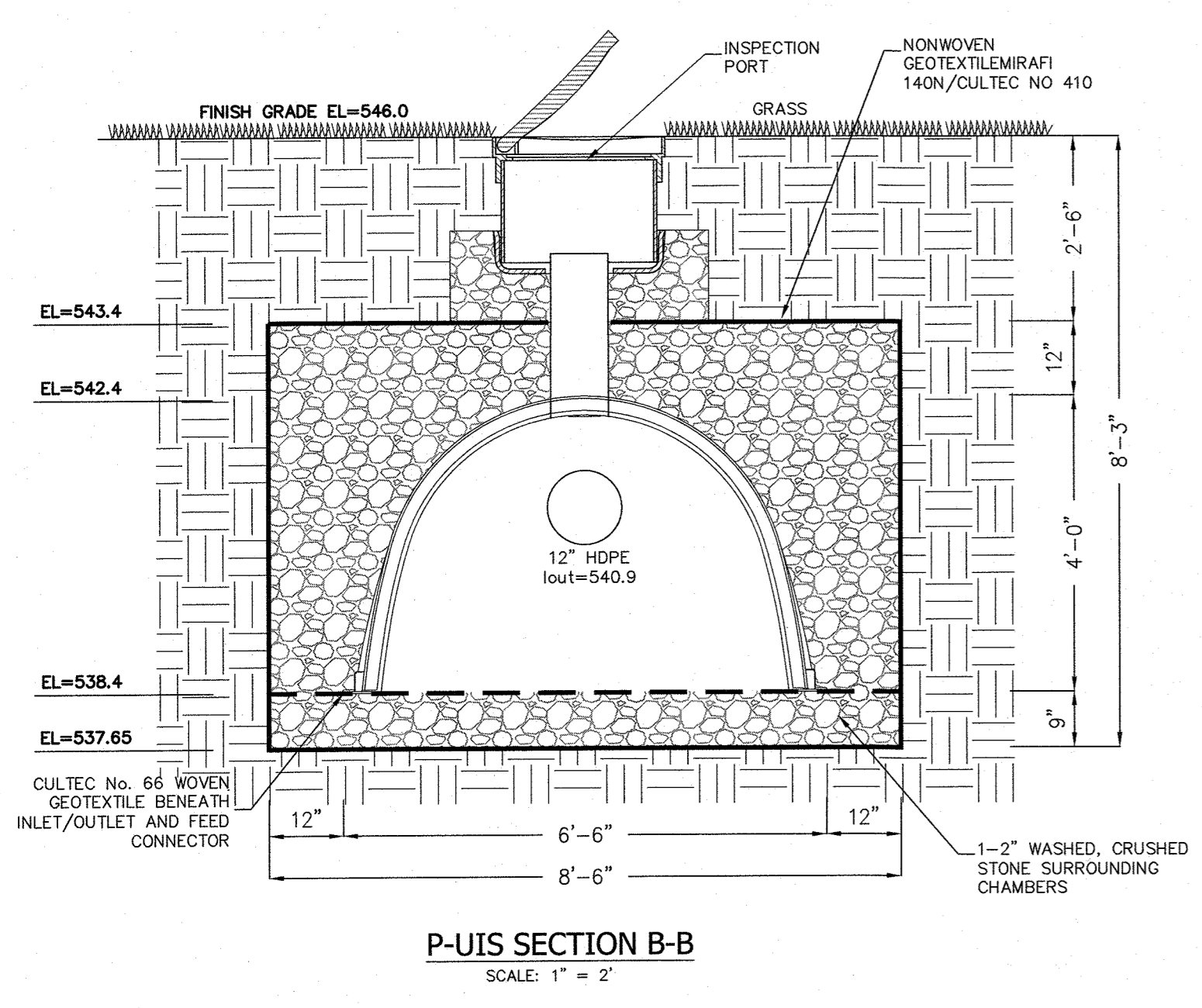
CULTEC HVLV FC-48 FEED CONNECTOR
N.T.S.



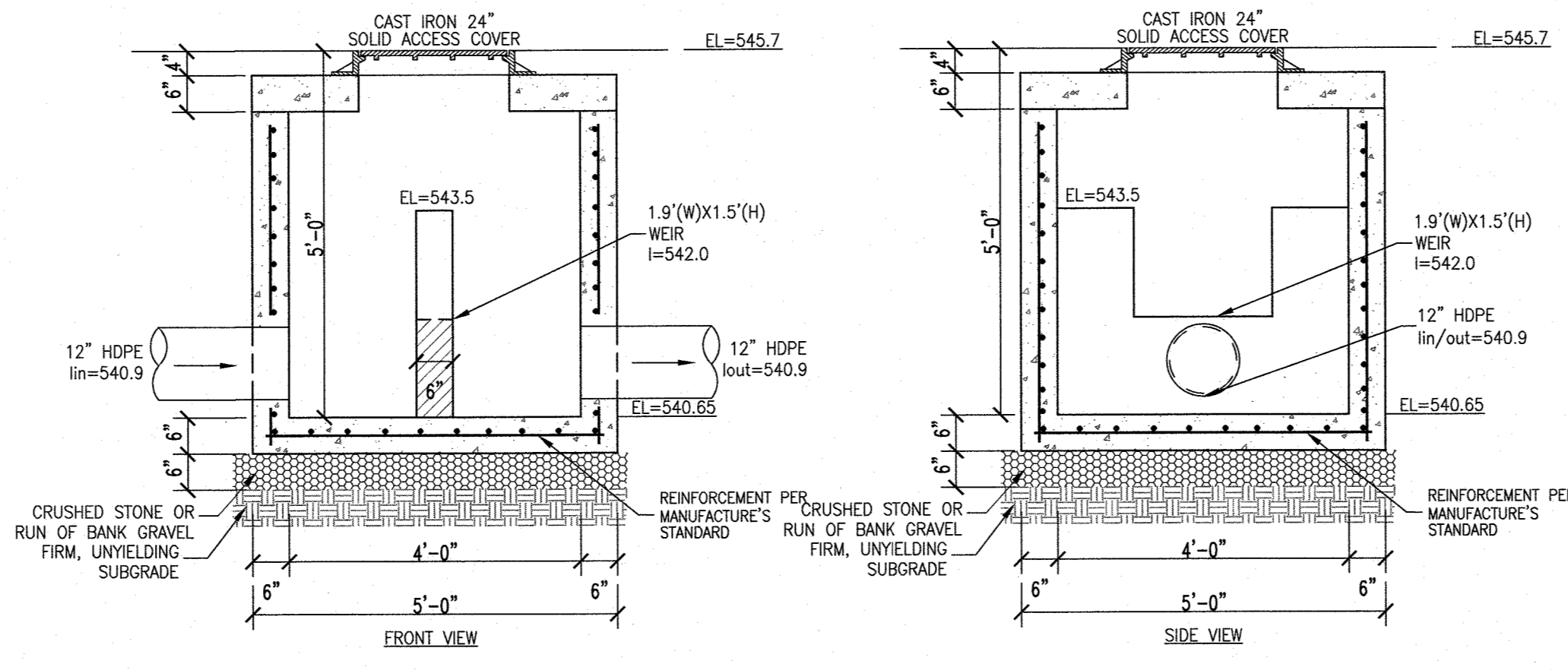
HYDRO FRAME AND COVER (INCLUDED)
GRADE RINGS BY OTHERS AS REQUIRED

PARTS LIST		DESCRIPTION	
ITEM	QTY	SIZE (in)	
1	1	48	I.D. PRECAST MANHOLE
2	1		INTERNAL COMPONENTS (PRE-INSTALLED)
3	1	30	FRAME AND COVER (ROUND)
4	1	24 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	24 (MAX)	INLET PIPE (BY OTHERS)

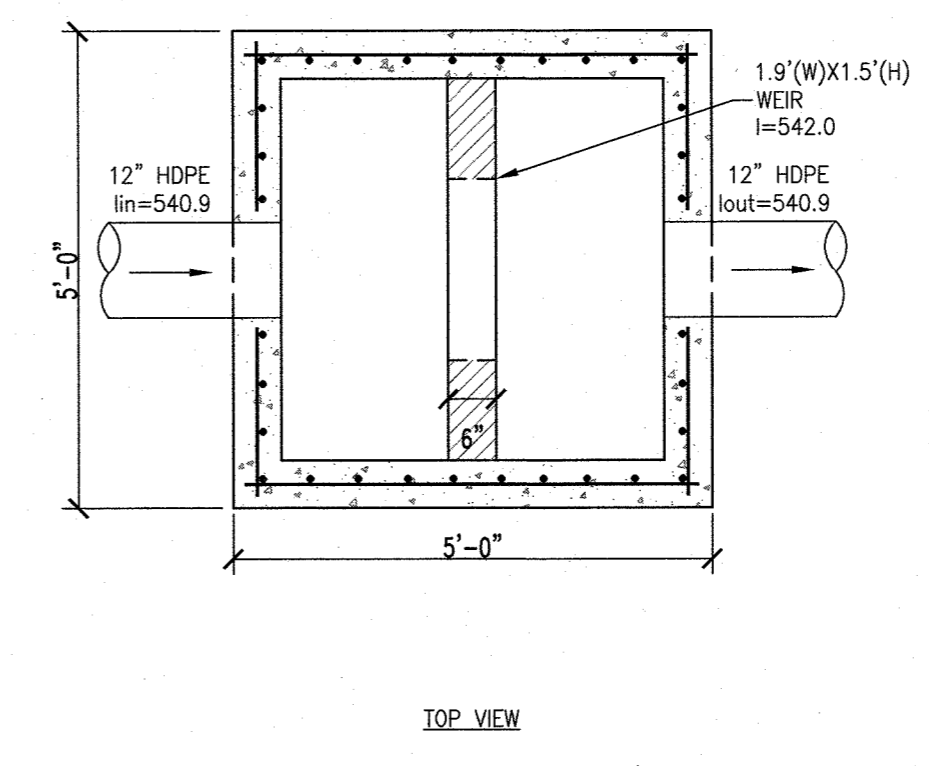
PRE-TREATMENT SYSTEM (FIRST DEFENSE FD-4HC OR EQUAL) DETAIL
N.T.S.



P-UIS SECTION B-B
SCALE: 1" = 2'

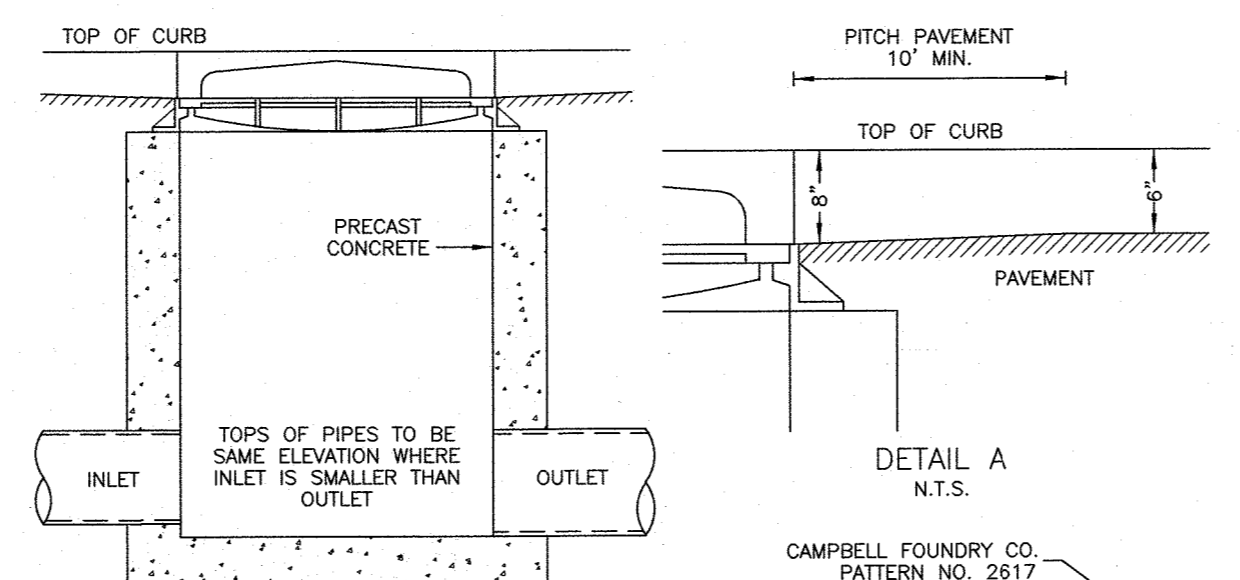


P-CS DETAIL
SCALE: 1/2" = 1"

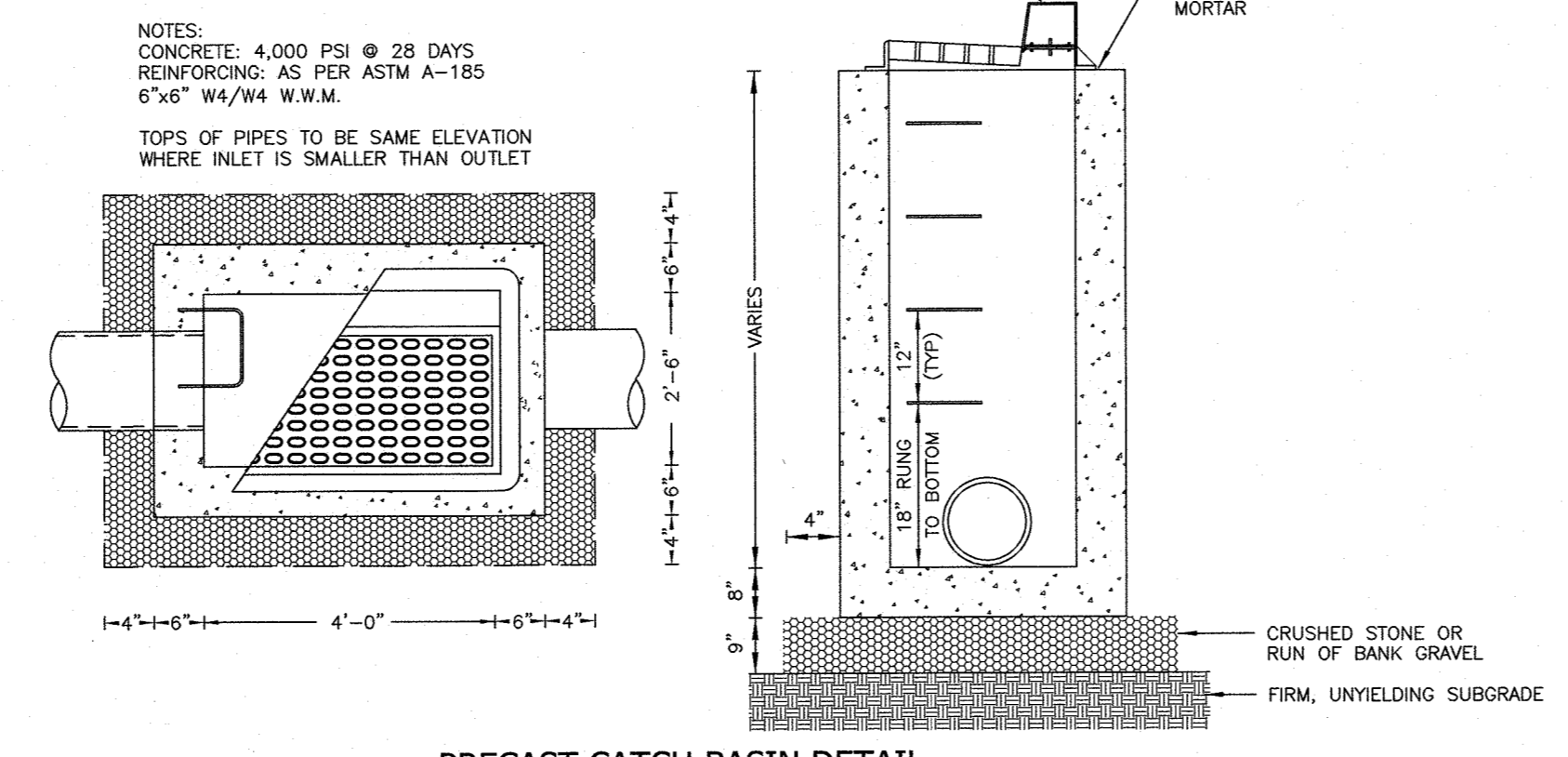


15" FLARED END SECTION DETAIL
N.T.S.

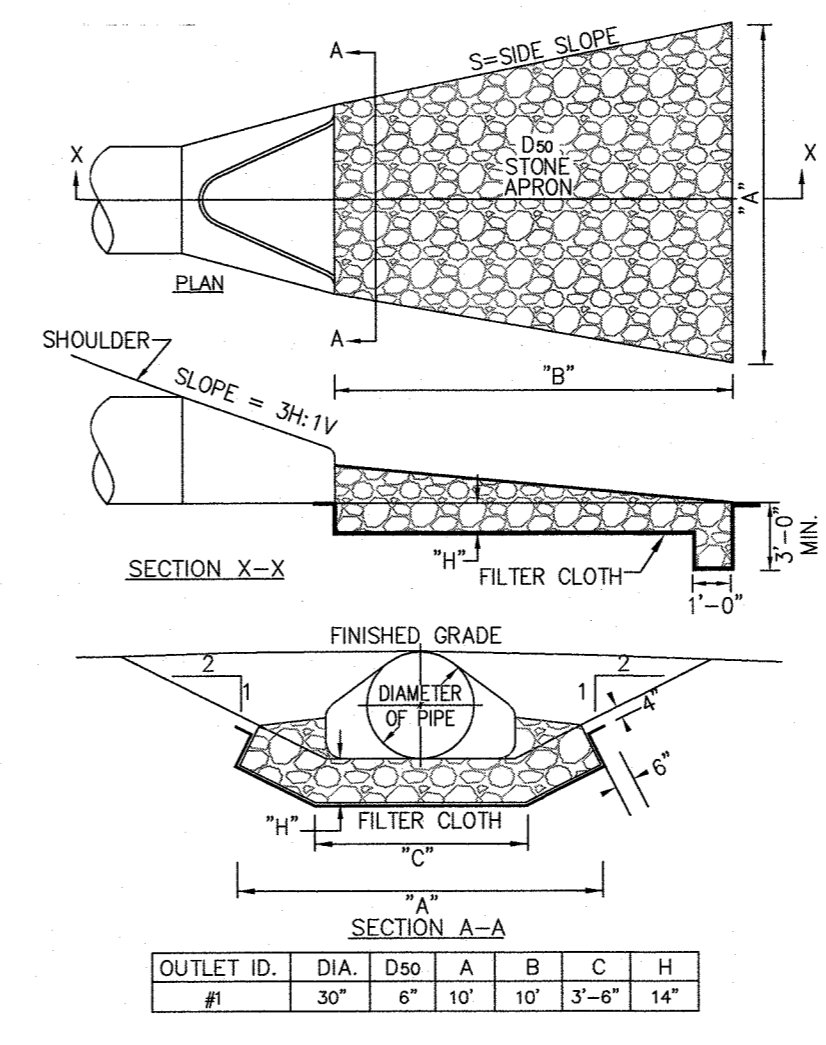
PIPE SIZE	A	B (MAX)	H	L	W
15 IN.	6.5 IN.	10 IN.	6.5 IN.	25 IN.	29 IN.



DETAIL A
N.T.S.

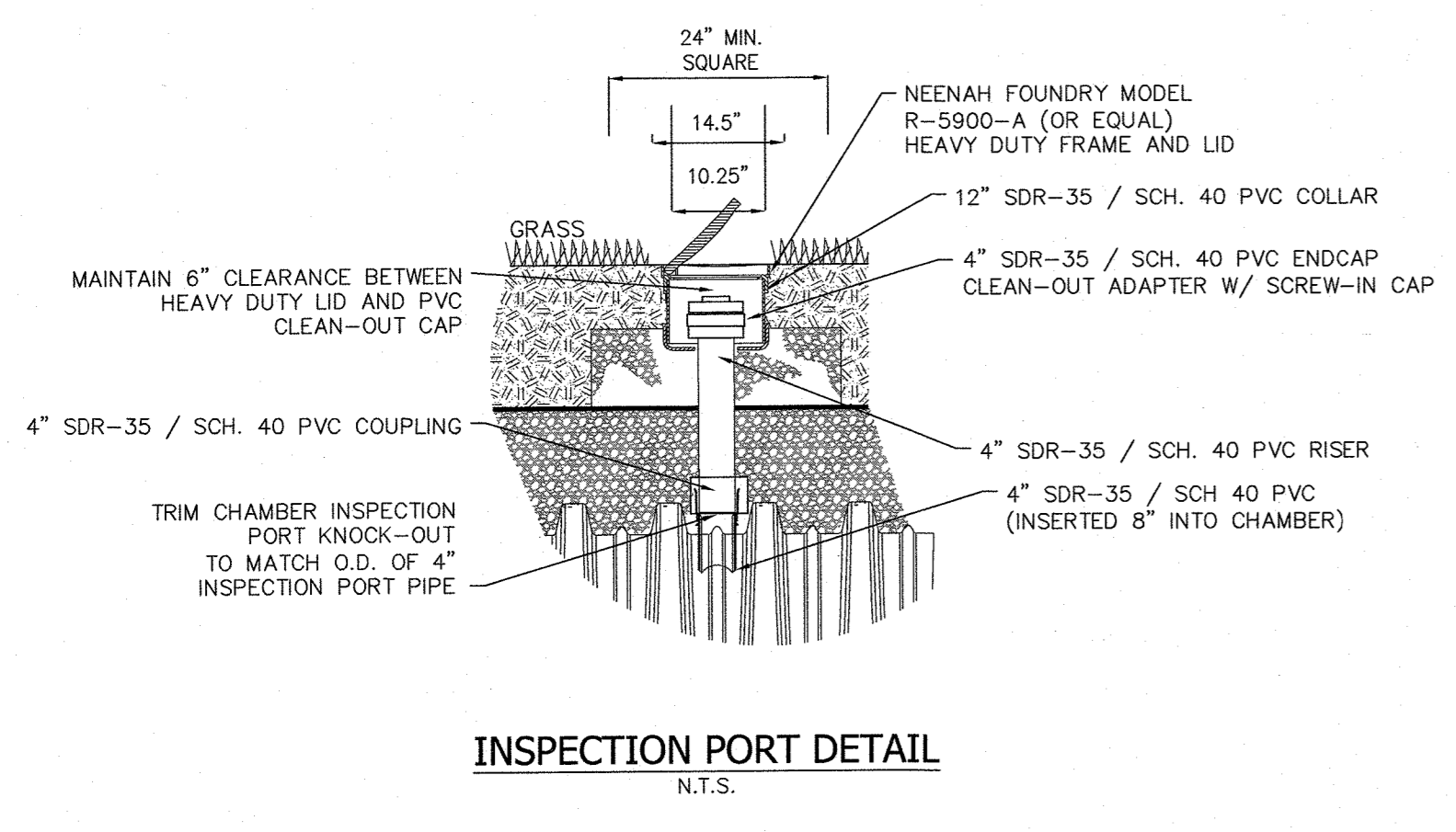


PRECAST CATCH BASIN DETAIL
N.T.S.



FLARED END SECTION & STONE OUTLET DETAIL
N.T.S.

OUTLET ID.	DIA.	D50	A	B	C	H
#1	30"	6"	10'	10'	3'-6"	14'



INSPECTION PORT DETAIL
N.T.S.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7206, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL TRACINGS OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

"CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE SURVEYORS ASSOCIATION OF NEW YORK STATE PROFESSIONAL ENGINEERS AND ARCHITECTS SHALL BE APPLIED TO THIS PROJECT. THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EVENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7206-3)

STATE OF NEW YORK
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
JOHN R. ATZL, P.E.
N.Y.S. P.E. LIC. NO. 80228

REVISION	DATE	DESCRIPTION
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYSOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGS.
1	2-6-23	REVISE ADDITION & PARKING

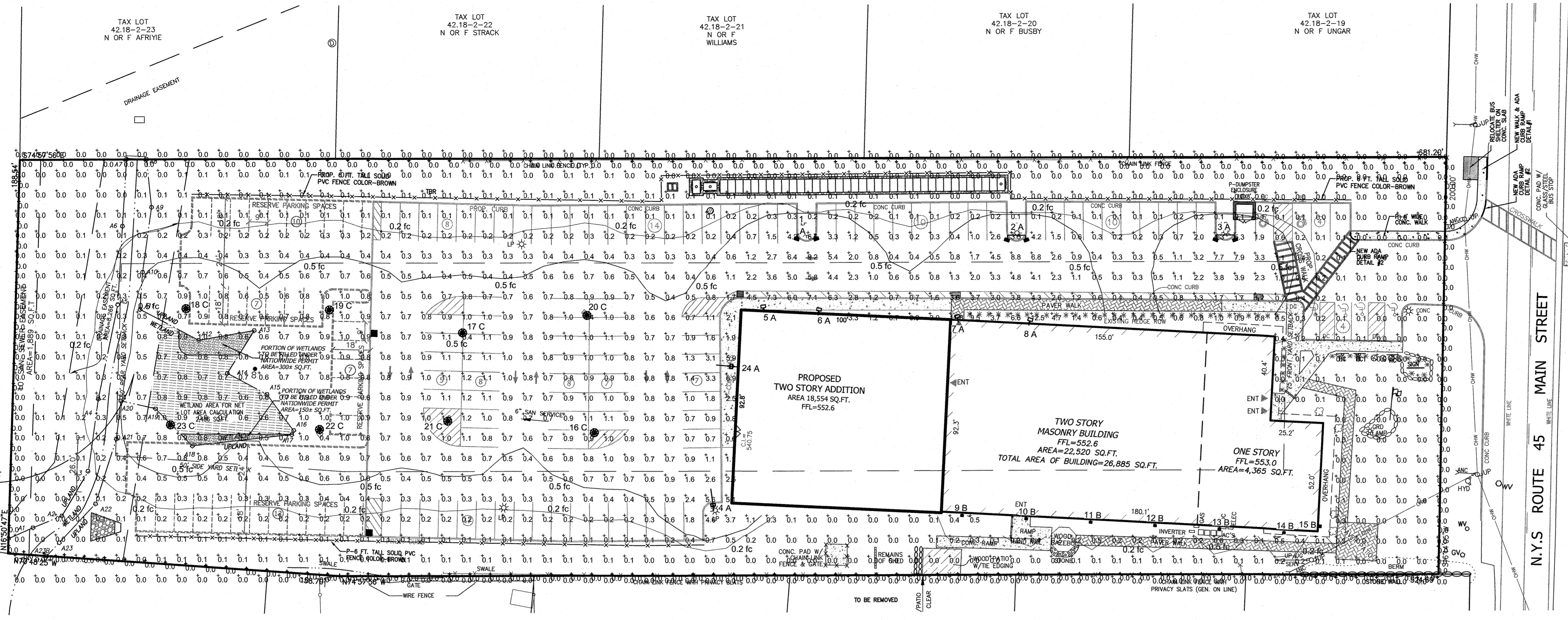
ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT: **ILLINOIS PROPERTIES 26 LLC**

**VILLAGE OF NEW HEMPSTEAD
ROCKLAND COUNTY, NEW YORK**

TITLE: **DRAINAGE DETAILS**

DRAWN BY: LF	CHECKED BY: JRA
DATE: APRIL 04, 2024	SCALE: AS SHOWN
PROJECT NO: 5030	DRAWING NO: 6

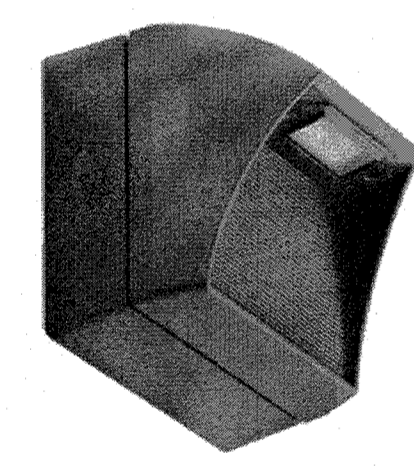


LumNo	Orient	Tilt	Tag	X	Y	MTG HT
1	290	50	A	457.655	366.296	16
1	250	50	A	454.655	366.296	16
2	290	50	A	561.085	365.797	16
2	250	50	A	558.085	365.797	16
3	290	50	A	663.766	365.047	16
3	250	50	A	660.766	365.047	16
4	98	30	A	410.792	230.746	16
5	98	0	A	435.273	328.7	15
6	80	0	A	461.972	327.29	14.5
7	100	0	A	530.711	323.921	12
8	75	0	A	565.783	322.314	12
9	265	0	B	532.926	228.242	11
10	265	0	B	564.605	226.664	11
11	265	0	B	596.283	224.944	11
12	265	0	B	627.962	223.327	11
13	265	0	B	659.64	221.753	11
14	265	0	B	691.319	220.096	11
15	355	0	B	708.639	222.849	11
16	35	0	C	351.964	268.45	16
17	35	0	C	286.913	317.653	16
18	35	0	C	150.832	329.323	16
19	35	0	C	221.393	328.743	16
20	35	0	C	348.226	328.422	16
21	35	0	C	279.736	273.979	16
22	35	0	C	216.681	269.685	16
23	35	0	C	143.331	271.883	16
24	175	30	A	421.541	301.247	15
Total Quantity: 27						

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PISpCr	PISpTb	Meter Type
Property Line	illumiance	Fc	0.00	0.0	0.0	N.A.	N.A.	10	N.A.	Horizontal
Site	illumiance	Fc	0.29	12.5	0.0	N.A.	N.A.	10	10	Horizontal

Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
1	6	X17XFU80 @40W_3K	Single	EXISTING FLOODLIGHT	A	1.000	5361	40.98	245.88
2	3	X17XFU80 @40W_3K + BULL2	TWIN @ 40	EXISTING FLOODLIGHT	A	1.000	5361	40.98	245.88
3	7	WPLED5N	Single	NEW WALLPACK	B	1.000	155	5.19	36.33
4	8	ALED5T6Y	Single	NEW POST TOP	C	1.000	3395	26.3789	211.031

WPLED5Y RAB



LED 5W Wall packs, patent-pending thermal management system, 100,000-hour L70 lifespan, 5-year, no-compromise warranty.
Color: Bronze Weight: 2.0 lbs

Project: _____ Type: _____
Prepared By: _____ Date: _____

Driver Info	LED Info
Type: Constant Current	Watts: 5W
120V 0.18A	Color Temp: 3000K (Warm)
208V 0.18A	Color Accuracy: 88 CRI
240V 0.18A	L70 Lifespan: 100,000 Hours
277V N/A	Lumens: 128 lm
Input Watts: 5.3W	Efficacy: 24.2 lm/W

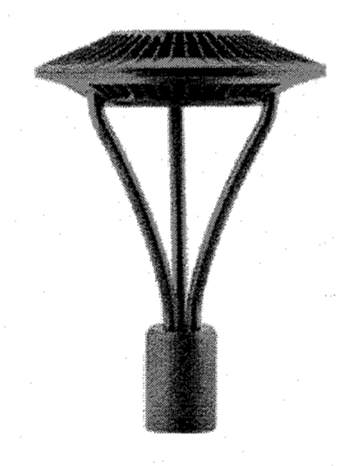
Technical Specifications

Compliance
UL Listed: Suitable for wet locations in downlight position only. Suitable for mounting within 4ft (1.2m) of the ground.
IP Rating: Ingress protection rating of IP66 for dust and water.
IESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
Dark Sky Conformance: Allows for conformance to the IDA's fully shielding requirement, emitting no light above 90 degrees.
Performance: Lifespan: 100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations. Wattage Equivalency: Equivalent to 13W CFL or 60W Incandescent.
Other: Patents: The WPLED design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Warranty: RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.
Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.
LED Characteristics
LEDs: 5W, high-output, long-life LED
Color Temperature: 3000K
Color Consistency: 3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color
Color Stability: LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity: RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.
Construction
Ambient Temperature: Suitable for use in up to 40°C (104°F)
Cold Weather Starting: The minimum starting temperature is -40°C (-40°F)
Housing: Precision die-cast aluminum housing and mounting plate, 1 1/2" backbox with three 1/2" conduit entry points.
Gaskets: High-temperature silicone gaskets
Finish: Formulated for high durability and long-lasting color
Green Technology: Mercury and UV free. RoHS-compliant components.

ALED5T5Y RAB



High output LED pole top area light with IES type V circular distribution. Wide and uniform 360 degree pattern ideal for large outdoor areas such as parking lots, corporate parks, and retail settings.
Color: Bronze Weight: 21.1 lbs

Project: _____ Type: _____
Prepared By: _____ Date: _____

Driver Info	LED Info
Type: Constant Current	Watts: 52W
120V 0.45A	Color Temp: 3000K (Warm)
208V 0.26A	Color Accuracy: 70 CRI
240V 0.23A	L70 Lifespan: 100,000 Hours
277V 0.19A	Lumens: 6,498 lm
Input Watts: 53.5W	Efficacy: 121.5 lm/W

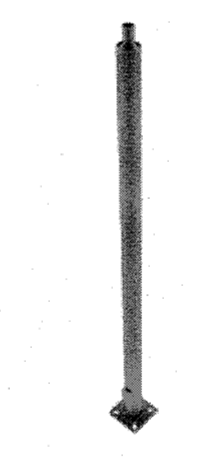
Technical Specifications

Compliance
UL Listed: Suitable for wet locations
IESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. Designed to meet DLC S.1 requirements. DLC Product Code: PHQARJ3
LED Characteristics
LEDs: 5W, high-output, long-life LEDs
Color Consistency: 3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color
Color Stability: LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity: RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.
Performance
Lifespan: 100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations
Wattage Equivalency: Equivalent to 150W Metal Halide
Construction
Cold Weather Starting: The minimum starting temperature is -40°C (-40°F)
Maximum Ambient Temperature: Suitable for use in up to 40°C (104°F)
Effective Projected Area: EPA - 1.2
Housing: Precision die-cast aluminum, Type V distribution
Support Arms: Extruded aluminum

Lens: Clear tempered glass lens
Reflector: Specular vacuum-metallized polycarbonate, Type V distribution
Gaskets: High-temperature silicone
Finish: Formulated for high durability and long-lasting color
Green Technology: Mercury and UV free. RoHS-compliant components.
Optical
BUG Rating: 83 LU G2
Other
Patents: The designs of the ALED5T5 are protected by patents pending in U.S., Canada, China, Taiwan and Mexico

PR4-11-15WT RAB



Color: Bronze Weight: 93.3 lbs

Project: _____ Type: _____
Prepared By: _____ Date: _____

Technical Specifications

Compliance
CSA Listed: Suitable for wet locations
Performance
Description: Steel pole 4" round 11 gauge 15 foot welded tenon square base
Construction
Shaft: 46,000 p.s.i. minimum yield.
Hand Holes: Reinforced with grounding lug and removable cover
Base Plates: Stamped base plates 36,000 p.s.i.
Color: Bronze powder coating
Tenon: Welded 2 3/8" tenon included
Height: 15 ft
Gauge: 11

Wall Thickness: 1/8"
Shaft Size: 4"
Anchor Bolt Templates: WARNING: Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available online.
Max EPA's/Max Weights:
70MPH 11.7 lb/650 lb
80MPH 15.5 lb/935 lb
90MPH 6.2 lb/530 lb
100MPH 4.6 lb/430 lb
110MPH 3.4 lb/325 lb
120MPH 2.5 lb/295 lb
130MPH 1.8 lb/220 lb
140MPH 1.3 lb/200 lb
150MPH 0.8 lb/165 lb
Accessories:
Base/Cap: BASE-R4
Anchor Bolts: BOLTA11

Other
Terms of Sale: Pole Terms of Sale is available online.
Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON FROM RECEIVING OR USING THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR THE SPECIFICATIONS. (NEW EDUCATION LAW SECTION 7209-2)

STATE OF NEW YORK
JOHN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

REVISION	DATE	DESCRIPTION
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYSOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGS.
1	2-6-23	REVISE ADDITION & PARKING

ATZL, NASHER & ZIGLER P.C.
ENGINEERS - SURVEYORS - PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5643
E-mail: info@anzny.com
Web: www.anzny.com

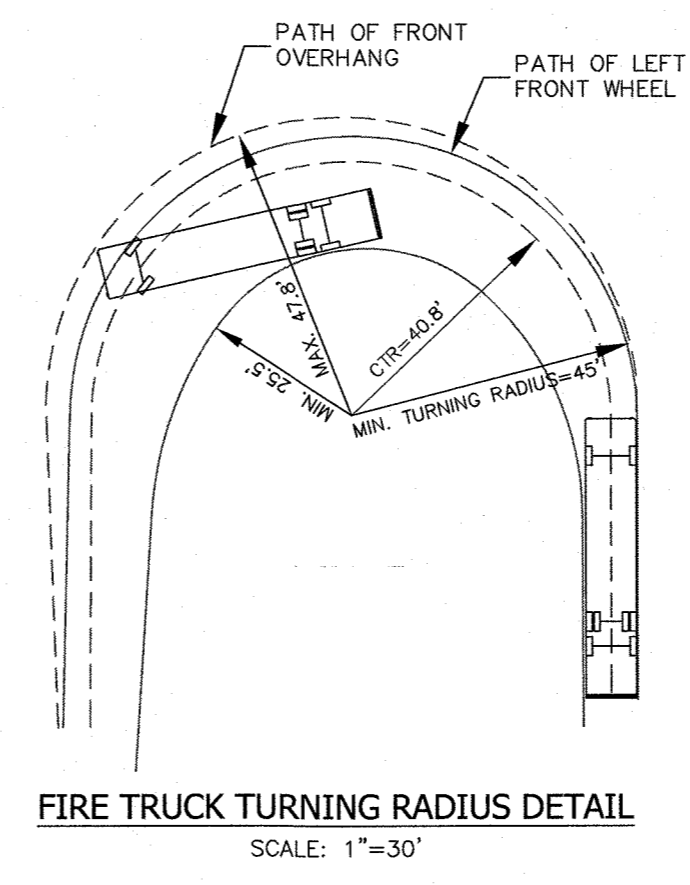
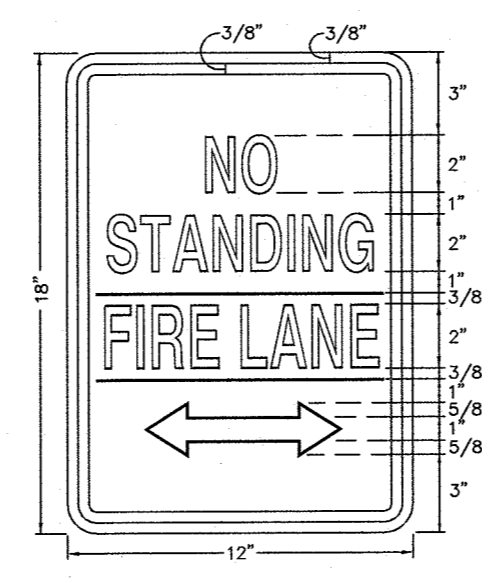
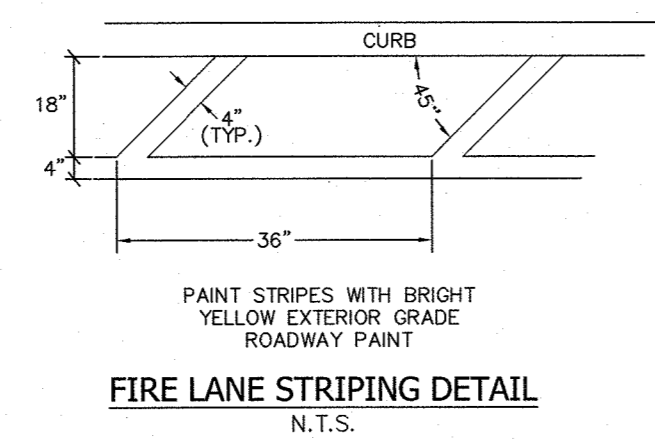
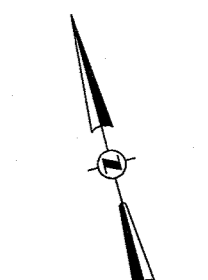
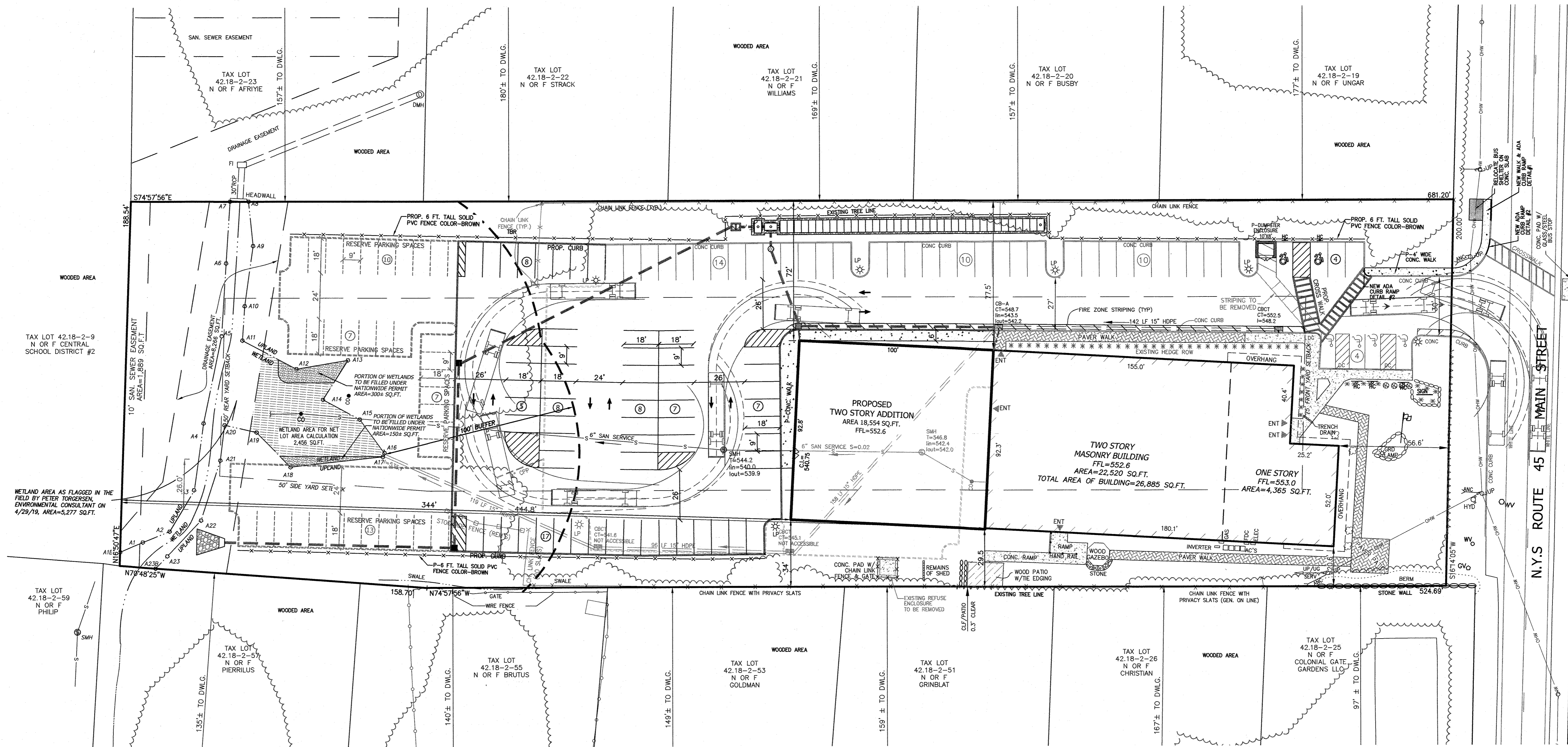
ILLINOIS PROPERTIES 26 LLC

**VILLAGE OF NEW HEMPSTEAD
ROCKLAND COUNTY, NEW YORK**

LIGHTING PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 7

P:\DRAWINGS\5030\5030 SITE PLAN & TEST HOLE 04-12-24.DWG



LEGEND

- 362 --- EXISTING 2' CONTOUR
- 360 --- EXISTING 10' CONTOUR
- DM --- EXISTING WATER MAIN
- FH --- EXISTING FIRE HYDRANT
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- DMH --- EXISTING DRAINAGE MANHOLE
- S --- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- EXISTING SEWER LINE
- + 360.0 --- EXISTING SPOT ELEVATION
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- UP --- EXISTING UTILITY POLE
- --- EXISTING WATER VALVE
- --- EXISTING GAS VALVE
- --- EXISTING CHAIN LINK FENCE
- --- EXISTING STONE WALL

6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYS DOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGs.
1	2-6-23	REVISE ADDITION & PARKING
REVISION	DATE	DESCRIPTION

AN&Z
ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZny.com

PROJECT:
ILLINOIS PROPERTIES 26 LLC

**VILLAGE OF NEW HEMPSTEAD
 ROCKLAND COUNTY, NEW YORK**

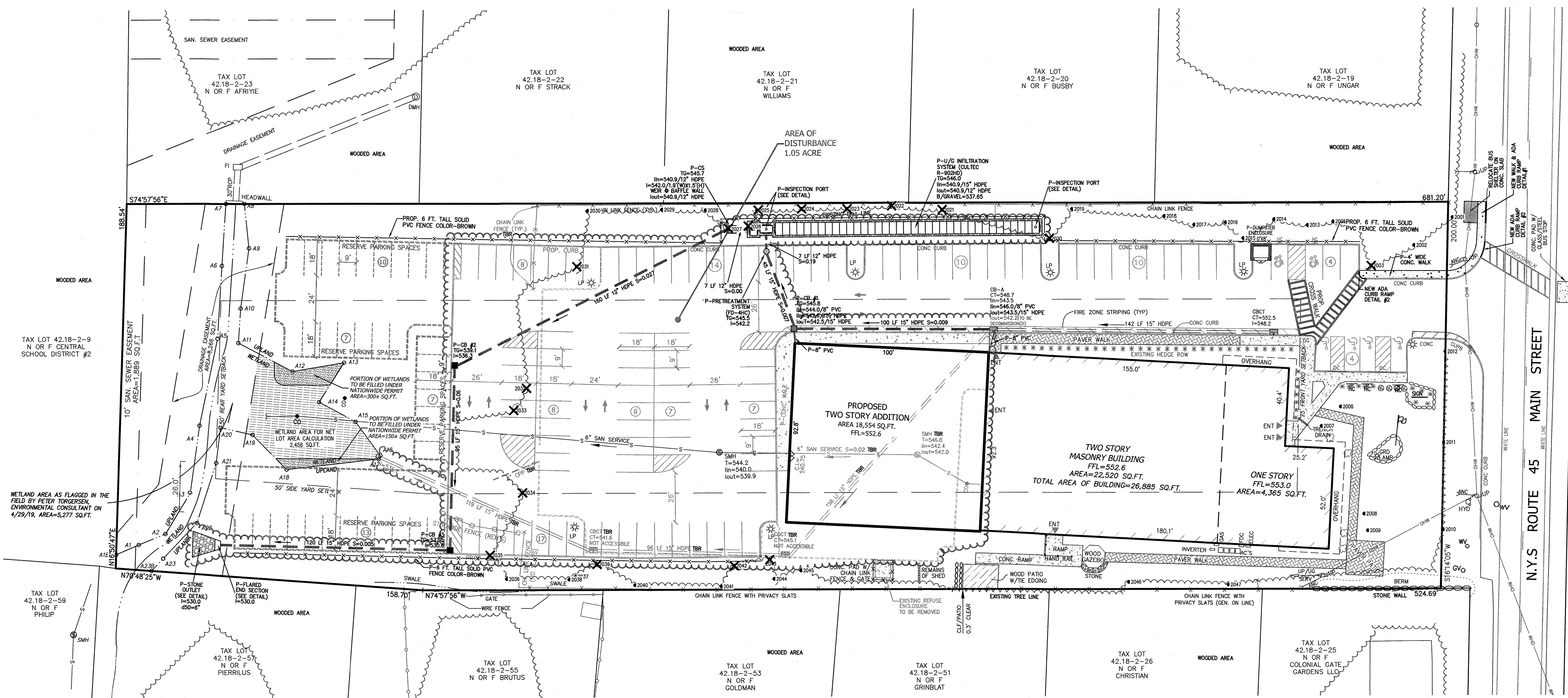
TITLE:
FIRE TRUCK RADIUS PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 8

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.
 ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
 CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE STATE OF NEW YORK.
 UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND RECORDE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-3)

STATE OF NEW YORK
 RYAN A. NASHER, P.E.
 N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
 JOHN R. ATZL, P.E.
 N.Y.S. P.E. LIC. NO. 50228



TREE LIST

NO.	SIZE	TYPE	CONDITION
2001	15"	LINDEN	GOOD
2002	15"	PINE	GOOD
2003	14"	LINDEN	GOOD
2004	10"	PINE	GOOD
2005	9"	PINE	GOOD
2006	9"	BERRY	GOOD
2007	11"	BERRY	GOOD
2008	8"	BERRY	GOOD
2009	9"	BERRY	GOOD
2010	13"	LINDEN	GOOD
2011	17"	LINDEN	GOOD
2012	15"	LINDEN	GOOD
2013	11"	PINE	GOOD
2014	10"	PINE	GOOD
2015	15"	OAK	GOOD
2016	8"	PINE	GOOD
2017	14"	PINE	GOOD
2018	10"	PINE	POOR
2019	23"	OAK	GOOD
2020	13"	OAK	GOOD
2021	24"	PINE	POOR
2022	14"	ELM	POOR
2023	26"	PINE	GOOD
2024	16"	PINE	POOR
2025	14"	ELM	POOR
2026	6"	PINE	POOR
2027	10"	PINE	POOR
2028	14"	PINE	POOR
2029	18"	PINE	POOR
2030	28"	PINE	POOR
2031	10"	MAPLE	GOOD
2032	12"	TWIN-MAPLE	GOOD
2033	12"	QUAD-POPLAR	POOR
2034	10"	MAPLE	POOR
2035	12"	LEGGUST	POOR
2036	14"	MAPLE	POOR
2037	48"	MAPLE	GOOD
2038	8"	MAPLE	POOR
2039	14"	ELM	POOR
2040	10"	HICKEY	GOOD
2041	19"	MAPLE	GOOD
2042	13"	MAPLE	GOOD
2043	10"	MAPLE	GOOD
2044	35"	MAPLE	GOOD
2045	10"	PINE	GOOD
2046	14"	MAPLE	GOOD
2047	17"	MAPLE	GOOD

TREE LEGEND

- ⊗ DENOTES EXISTING TREE TO REMAIN
- ⊗ DENOTES EXISTING TREE TO BE REMOVED
- ⊙ DENOTES EXISTING TREE TO BE REMOVED

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 2009, SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

I CERTIFY THAT THE INFORMATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE STATE OF NEW YORK SURVEYORS ASSOCIATION, SAID CERTIFICATIONS SHALL BE NULL AND VOID IF THESE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED, DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATIONS, (NY'S EDUCATION LAW SECTION 2209-2)

STATE OF NEW YORK
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
6	4-12-24	FOR PB SUBMISSION
5	11-15-23	PER TOWN DPW & NYSOT COMMENTS
4	4-18-23	NOTE ADDITION TWO STORIES
3	3-30-23	WETLAND BUFFER & RESERVE PARKING
2	2-15-23	ADD TREE LINES, DIST. TO ADJ. DWLGs.
1	2-6-23	REVISE ADDITION & PARKING

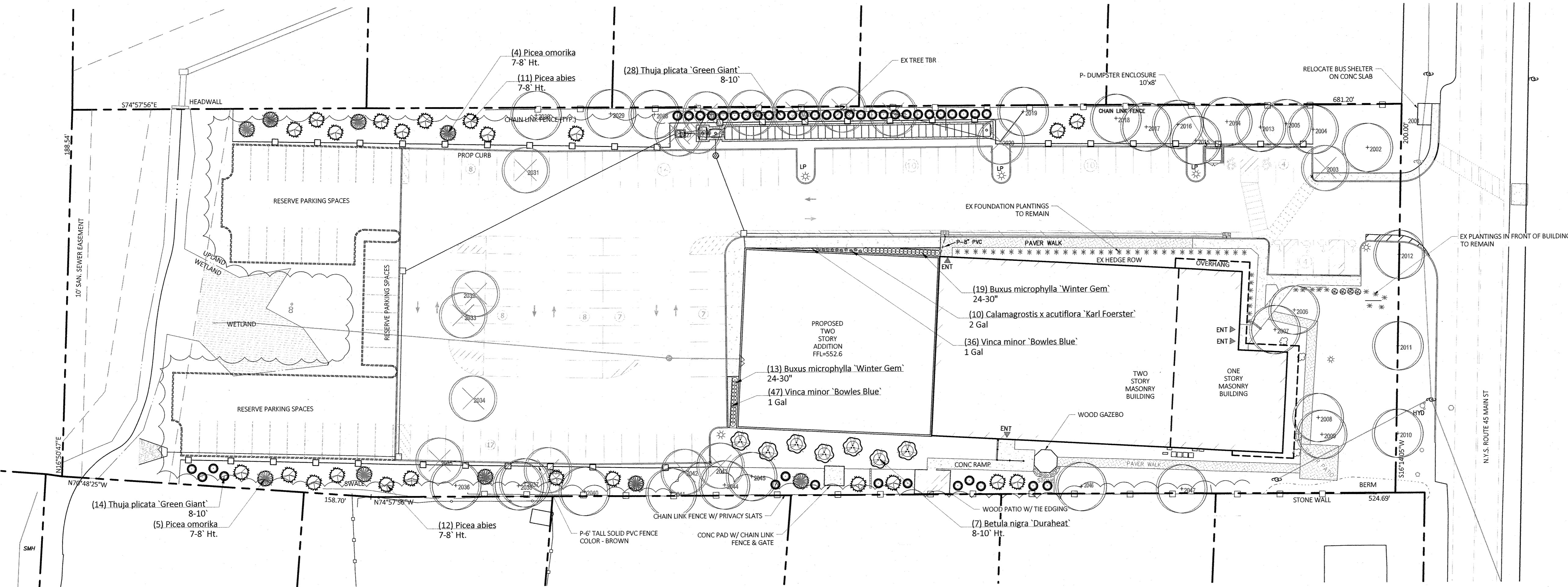
ATZL, NASHER & ZIGLER P.C.
ENGINEERS - SURVEYORS - PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

PROJECT: **ILLINOIS PROPERTIES 26 LLC**

**VILLAGE OF NEW HEMPSTEAD
ROCKLAND COUNTY, NEW YORK**

TITLE: **TREE REMOVAL PLAN**

DRAWN BY: LF	CHECKED BY: JRA
DATE: OCTOBER 31, 2022	SCALE: 1 IN. = 30 FT.
PROJECT NO: 5030	DRAWING NO: 9



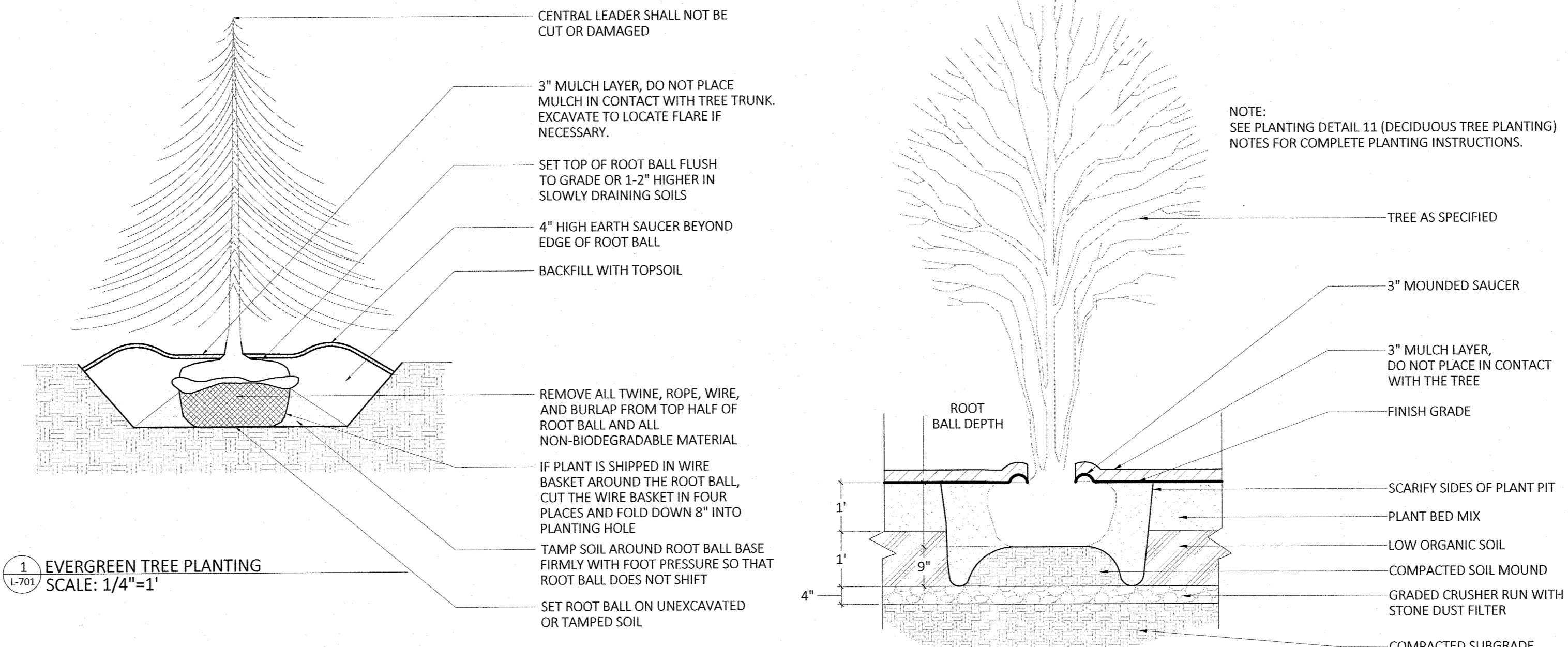
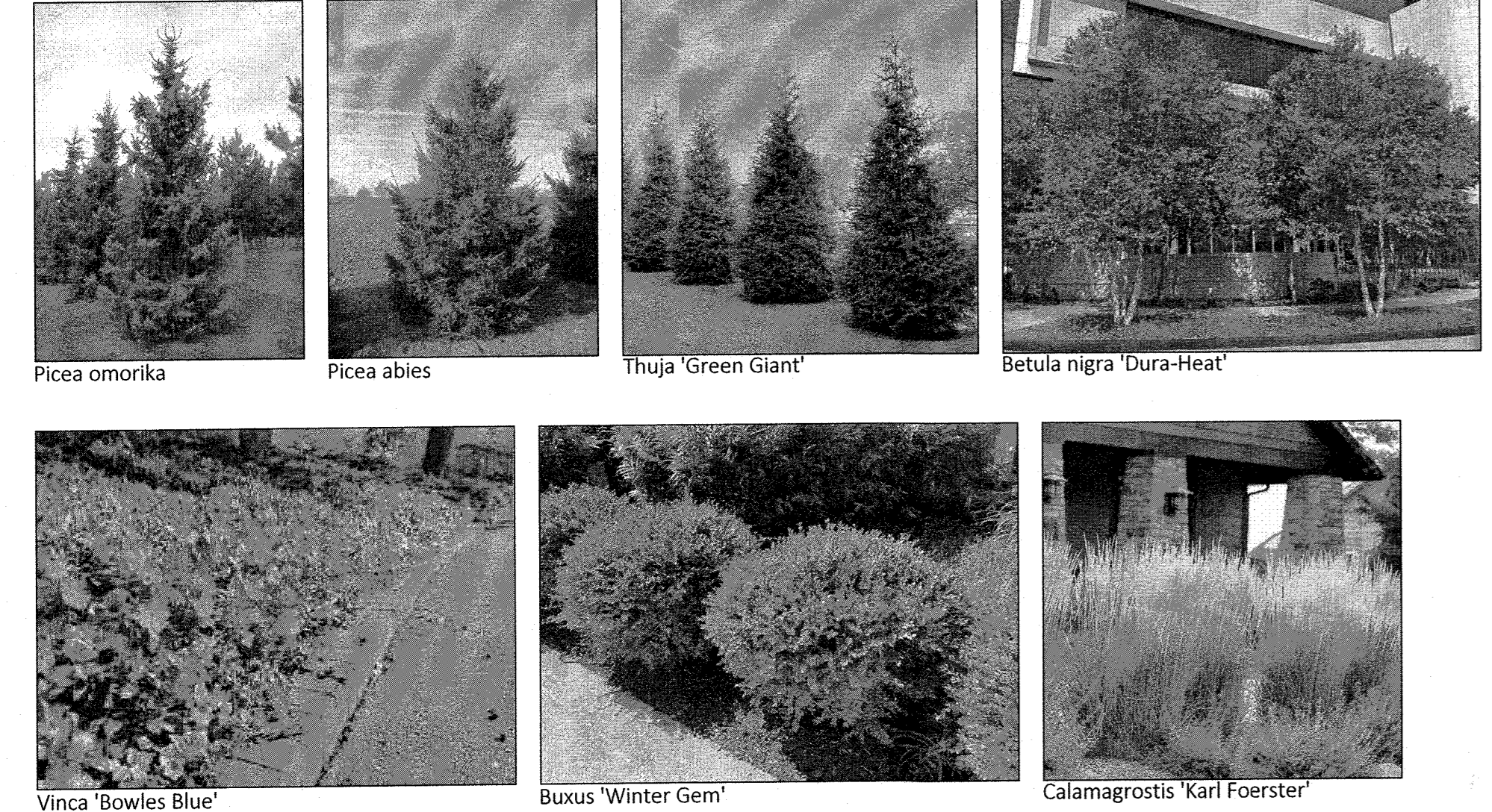
TREE LIST

NO.	SIZE	TYPE	CONDITION
2001	15"	LINDEN	GOOD
2002	15"	PINE	GOOD
2003	14"	LINDEN	POOR
2004	10"	PINE	GOOD
2005	9"	PINE	GOOD
2006	9"	BERRY	GOOD
2007	11"	BERRY	GOOD
2008	8"	BERRY	GOOD
2009	9"	BERRY	GOOD
2010	13"	LINDEN	GOOD
2011	17"	LINDEN	GOOD
2012	15"	LINDEN	GOOD
2013	11"	PINE	GOOD
2014	10"	PINE	GOOD
2015	15"	OAK	GOOD
2016	8"	PINE	GOOD
2017	14"	PINE	GOOD
2018	10"	PINE	POOR
2019	23"	OAK	GOOD
2020	13"	OAK	GOOD
2021	24"	PINE	POOR
2022	14"	ELM	POOR
2023	26"	PINE	GOOD
2024	16"	PINE	POOR
2025	14"	ELM	POOR
2026	8"	PINE	POOR
2027	10"	PINE	POOR
2028	14"	PINE	POOR
2029	18"	PINE	POOR
2030	28"	PINE	POOR
2031	10"	MAPLE	GOOD
2032	12"	TWIN-MAPLE	GOOD
2033	12"	QUAD-POPEAR	POOR
2034	10"	MAPLE	POOR
2035	12"	LEUCYST	POOR
2036	14"	MAPLE	POOR
2037	48"	MAPLE	GOOD
2038	8"	MAPLE	POOR
2039	14"	ELM	POOR
2040	10"	HICKEY	GOOD
2041	19"	MAPLE	GOOD
2042	13"	MAPLE	GOOD
2043	10"	MAPLE	GOOD
2044	35"	MAPLE	GOOD
2045	10"	PINE	GOOD
2046	14"	MAPLE	GOOD
2047	17"	MAPLE	GOOD

PLANT SCHEDULE

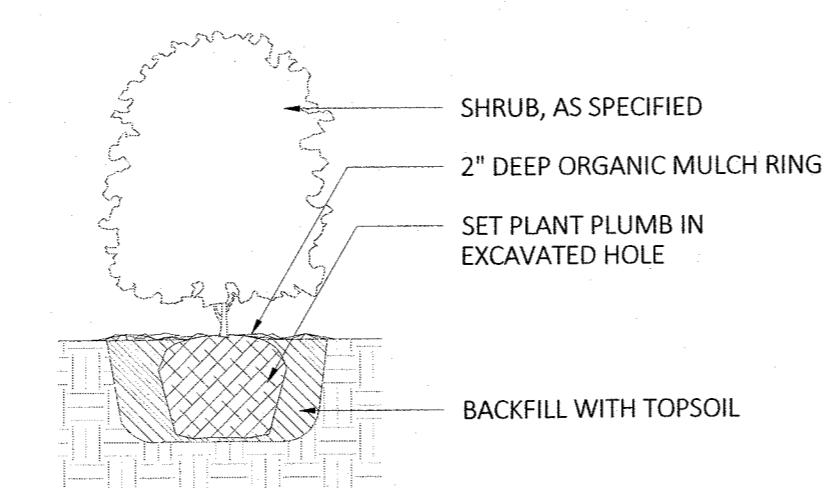
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
	7	Betula nigra 'Duraheat'	Duraheat River Birch	8-10' Ht.
	23	Picea abies	Norway Spruce	7-8' Ht.
	9	Picea omorika	Serbian Spruce	7-8' Ht.
	42	Thuja plicata 'Green Giant'	Western Red Cedar	8-10'
SHRUBS				
	32	Buxus microphylla 'Winter Gem'	Globe Winter Gem Boxwood	24-30"
GRASSES				
	10	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	2 Gal
GROUND COVERS				
	83	Vinca minor 'Bowles Blue'	Dwarf Periwinkle	1 Gal 12" o.c.

PLANT IMAGES

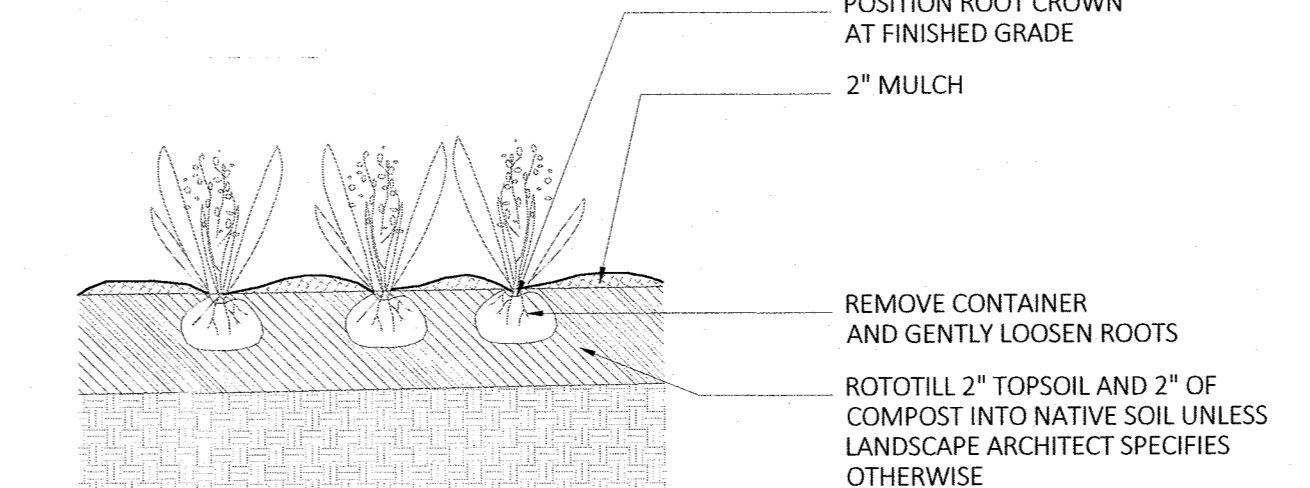


1 EVERGREEN TREE PLANTING
SCALE: 1/4"=1'

2 MULTISTEM TREE PLANTING
SCALE: 1/2"=1'



3 SHRUB PLANTING
SCALE: 1/2"=1'

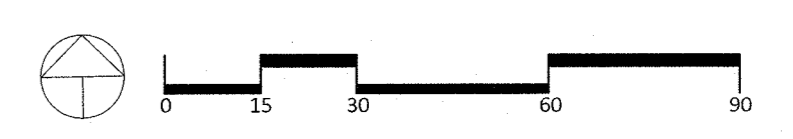


4 GROUND COVER PLANTING
SCALE: 1/2"=1'

- NOTES:**
- FOR B & B PLANT MATERIAL, REMOVE ALL TWINE AND ROLL BACK BURLAP FROM TOP 1/2 OF BALL. IF ANY MATERIALS USED TO BIND THE ROOTBALL ARE NON-BIODEGRADABLE, REMOVE COMPLETELY INCLUDING WIRE BASKET.
 - FOR CONTAINER GROWN PLANT MATERIAL, REMOVE CONTAINER TO HELP PREVENT LOOSENING OF SOIL AND SCARIFY BALL TO HELP PREVENT GIRDLING ROOTS.
 - SATURATE SOIL WITHIN SIX (6) HOURS OF PLANTING, AND WATER AS NECESSARY UNTIL IRRIGATION INSTALLED.
 - NO MULCH OR SOIL SHOULD BE PLACED AGAINST THE PLANT'S TRUNK.

PLANTING NOTES

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED; INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY IA PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST THREE YEARS FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar as it is PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT, IRRIGATE & CARE FOR STOCK NOT PLANTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1980) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL INJURED ROOTS SHALL BE PRUNED UTILIZING CLEAN, SHARP TOOLS TO MAKE CLEAN ENDS BEFORE PLANTING.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 2" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
- ALL DISTURBED AREAS TO BE TREATED WITH 3" TOP SOIL & SEEDING IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS.



TO SCALE WHEN PLOTTED ON 24x36
PROGRESS SET NOT FOR CONSTRUCTION

DATE: JUNE 24, 2024
DRAWN BY: AVM
JOB NO: 062424
SCALE: 1"=30'
FILENAME: 2024_0624 775 N Main St

REVISIONS:

By the M Yost ASLA | Registered Landscape Architect

PLANTING PLAN

SHEET NO.

L-701

SHEET: 1 of 1